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PLANNING COMMITTEE

Tuesday, 27th August, 2019 at 7.30 pm
Venue: Conference Room
Civic Centre, Silver Street,
Enfield EN1 3XA

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MEMBERS
Councillors : Mahmut Aksanoglu (Chair), Sinan Boztas (Vice-Chair), Mahym Bedekova, Chris Bond, Elif Erbil, Ahmet Hasan, Tim Leaver, Hass Yusuf, Michael Rye OBE, Jim Steven and Maria Alexandrou

N.B. Any member of the public interested in attending the meeting should ensure that they arrive promptly at 7:15pm
Please note that if the capacity of the room is reached, entry may not be permitted. Public seating will be available on a first come first served basis.

Involved parties may request to make a deputation to the Committee by contacting the committee administrator before 12:00 noon on 23/08/19

AGENDA – PART 1

1. WELCOME AND APOLOGIES FOR ABSENCE

2. DECLARATION OF INTEREST

Members of the Planning Committee are invited to identify any disclosable pecuniary, other pecuniary or non-pecuniary interests relevant to items on the agenda.

3. MINUTES OF THE PLANNING COMMITTEE HELD ON TUESDAY 16 JULY 2019 (Pages 1 - 4)

To receive the minutes of the Planning Committee meeting held on Tuesday 16 July 2019.

4. REPORT OF THE HEAD OF PLANNING (REPORT NO.84) (Pages 5 - 6)

To receive the covering report of the Head of Planning.

5. 19/02447/FUL - 105-109 CHASE SIDE, ENFIELD, EN2 6NL (Pages 7 - 54)

RECOMMENDATION: Approval subject to conditions
WARD: Town

6. 18/03845/FUL - 20, 22, 24 AND 26 DRAPERS ROAD, ENFIELD, EN2 8LU (Pages 55 - 118)

RECOMMENDATION: Approval subject to conditions and completion of Section 106 Agreement.
WARD: Highlands

7. 19/00201/FUL - 465-469 GREEN LANES, LONDON, N13 4BS (Pages 119 - 162)

RECOMMENDATION: Approval subject to conditions and completion of Section 106 Agreement.
WARD: Winchmore Hill

8. 19/00973/FUL - 32 FOX LANE, LONDON, N13 4AH (Pages 163 - 186)

RECOMMENDATION: Approval subject to conditions
WARD: Winchmore Hill

9. 19/01183/RE4 - FERN HOUSE SCHOOL, KESWICK DRIVE, EN3 6NY (Pages 187 - 218)

RECOMMENDATION: in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, planning permission be deemed to be **GRANTED** subject to the conditions contained within the original report to the committee dated 16 July 2019
WARD: Turkey Street

10. 18/04935/FUL - 241 GREEN STREET, ENFIELD, EN3 7SJ

RECOMMENDATION: Refusal
WARD: Enfield Highway

(TO FOLLOW)

MINUTES OF THE MEETING OF THE PLANNING COMMITTEE HELD ON TUESDAY, 16 JULY 2019

COUNCILLORS

PRESENT	Mahmut Aksanoglu, Sinan Boztas, Mahym Bedekova, Chris Bond, Ahmet Hasan, Tim Leaver, Hass Yusuf, Michael Rye OBE, Jim Steven and Maria Alexandrou
ABSENT	Elif Erbil
OFFICERS:	Vincent Lacovara (Head of Planning), Andy Higham (Head of Development Management), David Gittens (Planning Decisions Manager), Gideon Whittingham (Principal Planning Officer), Dominic Millen (Group Leader Transportation) and Catriona McFarlane (Legal Representative) Jane Creer (Secretary)
Also Attending:	Dennis Stacey (Chair, Conservation Advisory Group) 4 members of the public, applicant and agent representatives

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WELCOME AND APOLOGIES FOR ABSENCE

Councillor Aksanoglu, Chair, welcomed all attendees.

Apologies for absence were noted from Councillor Elif Erbil.
Apologies for lateness were received from Councillor Boztas.

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DECLARATION OF INTEREST

NOTED there were no declarations of interest.

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MINUTES OF THE PLANNING COMMITTEE HELD ON TUESDAY 25 JUNE 2019

AGREED that the minutes of the Planning Committee meeting held on Tuesday 25 June 2019 were agreed as a correct record.

111
REPORT OF THE HEAD OF PLANNING (REPORT NO.62)

RECEIVED the report of the Head of Planning.

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19/01183/RE4 - FERN HOUSE SCHOOL, KESWICK DRIVE, ENFIELD EN3 6NY

NOTED

1. The introduction by David Gittens, Planning Decisions Manager, highlighting the key issues and clarifying the proposals.
2. Councillor Boztas arrived at the meeting at this point, but having missed part of the introduction, would not be permitted to vote on this item.
3. In response to consultation, receipt of a late objection from London Fire Brigade (LFB). Concerns about a lack of access and no consideration to requirements of BB100 (sprinklers). This would be dealt with by Building Control.
4. Members' debate and questions responded to by officers.
5. Members' request in respect of the colour of the multi use games area (MUGA). It was agreed that a condition would require green.
6. Members' ongoing concerns in respect of assurances regarding the LFB objection and the MUGA community use plan. Members discussed the need for details of the Community Access Statement to be known now as they could influence effect of proposals on residential amenity, not sufficient for condition.
7. A proposal by Councillor Rye and seconded by Councillor Alexandrou to defer a decision on the application was supported by the majority of the Committee: 8 votes for and 1 abstention.

AGREED that a decision on the application be deferred for the following reason:

Reason:

i) To seek clarification on the use of/need for sprinklers to be included in the building design.
ii) To seek details on the proposed community use strategy.

113
19/01094/RE4 - CHESTERFIELD PRIMARY SCHOOL, 28 CHESTERFIELD ROAD, ENFIELD EN3 6BG

NOTED

1. The introduction by Gideon Whittingham, Principal Planning Officer, highlighting the key issues and clarifying the proposals.
2. Officers confirmed that the London Fire Brigade were consulted but no comments were received.
3. Discussion regarding the need for an additional condition on sustainable construction.
4. Members' debate and questions responded to by officers.
5. The unanimous support of the Committee for the officers' recommendation.

AGREED that in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, planning permission be deemed to be granted and an additional condition.

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DATE OF NEXT MEETING

NOTED

1. Meetings of Planning Committee were likely to be required on 6 August and 27 August 2019.
2. An additional meeting of Planning Committee to discuss S106 monitoring would be scheduled in early September.
3. The Planning Panel meeting in respect of the Southgate Office Village proposals would be sought for Thursday 5 September 2019, subject to availability for a suitable venue.

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MUNICIPAL YEAR 2019/2020 - REPORT NO 84

AGENDA - PART 1	ITEM 4

SUBJECT -

MISCELLANEOUS MATTERS

COMMITTEE:
PLANNING COMMITTEE
27.08.2019

REPORT OF:
Head of Planning

Contact Officer:
Planning Decisions Manager
David Gittens Tel: 020 8379 8074
Claire Williams Tel: 020 8379 4372

4.1 APPLICATIONS DEALT WITH UNDER DELEGATED POWERS INF

4.1.1 In accordance with delegated powers, 465 applications were determined between 03/07/2019 and 13/08/2019, of which 356 were granted and 109 refused.

4.1.2 A Schedule of Decisions is available in the Members' Library.

Background Papers

To be found on files indicated in Schedule.

4.2 PLANNING APPLICATIONS AND APPLICATIONS TO DISPLAY ADVERTISEMENTS DEC

On the Schedules attached to this report I set out my recommendations in respect of planning applications and applications to display advertisements. I also set out in respect of each application a summary of any representations received and any later observations will be reported verbally at your meeting.

Background Papers

(1) Section 70 of the Town and Country Planning Act 1990 states that the Local Planning Authority shall have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations. Section 54A of that Act, as inserted by the Planning and Compensation Act 1991, states that where in making any determination under the Planning Acts, regard is to be had to the development, the determination shall be made in accordance with the plan unless the material considerations indicate otherwise. The development plan for the London Borough of Enfield is the London Plan (March 2015), the Core Strategy (2010) and the Development Management Document (2014) together with other supplementary documents identified in the individual reports.

(2) Other background papers are those contained within the file, the reference number of which is given in the heading to each application.

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE	**Date:** 27th August 2019

Report of Head of Planning	**Contact Officer:** Andy Higham David Gittens James Clark	**Ward:** Town

Ref: 19/02447/FUL	**Category**: Full Application

LOCATION: No 105-109 Chase Side, Enfield, EN2 6NL

PROPOSAL: Erection of a part 2, part 3-storey building operating as a D1 use with part ancillary A1 use at ground floor and associated on-site car parking, boundary treatments and highway works.

Applicant Name & Address: Dr Harry Grewal White Lodge Surgery 68 Silver Street Enfield EN1 3EW wood1develop@yahoo.co.uk hgrewal@btinternet.com	**Agent Name & Address**: London Office MEB Design Ltd 30 St John's Lane London Enfield EC1M 4NB London@mebdesign.co.uk PChester@mebdesign.co.uk SJabbar@mebdesign.co.uk

RECOMMENDATION: That the Head of Development Management /the Planning Decisions Manager be authorised to **GRANT** planning permission subject to planning conditions.

1.0 Note for Members

The planning application would fall within the Enfield planning delegated powers schedule. In this instance the planning application meets exception criteria (3), Detailed applications for the erection of non-residential development (excluding extensions to existing buildings), in excess of 1,000 sq. metres (gross), therefore the planning application shall be determined by the Planning Committee.

2.0 Recommendation / Conditions

2.1 That in accordance with Regulation 3 of the Town and Country Planning General

Regulations 1992, planning permission be deemed to be GRANTED subject to the following conditions:

1. Time limited permission

2. Approved plans

3 Highway improvements

4 Materials

5 Hard surfacing

6 reinstatement of defunct crossover

7 No external pipework/extraction/ventilation units

8 Details of external lighting

9 Private vehicles only

10 Electric charging points (prior to occupation)

11 Provision of cycle storage on site

12 Drainage Verification Report

13 Adherence to landscape plan

14 Tree protection plan

15 energy verification/performance certificate report

16 Details of CCTV

17 Travel Plan

18 refuse storage provided on site prior to occupation

19 restriction on use

20 Hours of use

21 Mechanical Plant

3.0 Executive Summary:

3.1 The proposed planning application is referred to Planning Committee on account of the submission representing a detailed application for the erection of non-residential development (excluding extensions to existing buildings), in excess of 1,000 sq. metres (gross), therefore shall be determined by the Planning Committee under the adopted Enfield scheme of delegation (adopted 17th October 2017) as per exceptions to the delegated authority under Appendix 1, part 3 as per below,

*"*Detailed applications for the erection of non-residential development (excluding extensions to existing buildings), in excess of 1,000 sq. metres (gross)*".*

3.2 The proposed development seeks planning approval to construct a part 2, part 3-storey Medical centre (D1 use) with part ancillary A1 use at ground floor operating as a pharmacy. The site is located on the corner of Chase side and Chase Side Avenue with the proposed development fronting both roads would direct access to Chase side Avenue. The site would include associated on-site car parking, boundary treatments and highway works. The part three storey element of the building would be set in from the flank elevations and the massing of the building would be predominantly located to the north-west of the site. Nineteen (19) on-site parking spaces would be provided on site and a total of 1139m² of commercial floorspace would be created on site.

3.3 The site was approved at Planning Committee in July 2017 under planning reference 17/00433/FUL for a similar development absent the second floor level and other aesthetic elements primarily to the access and appearance when viewed from Chase Side Avenue. The highway obligations within the attached s106 under planning approval under 17/00433/FUL have been discharged and shall not apply to the current development under considerations. A variation of condition application under 19/00669/VAR was approved to vary condition 2 of planning approval 17/00433/FUL and all pre-commencement planning conditions have been discharged under planning references 18/03559/CND and 18/02660/CND, full details below.

18/02660/CND - Details submitted pursuant to ref: 17/00433/FUL comprising above-ground works, materials (4 -(a) -(f) only), access and junction (5), hard surfacing (6), external lighting (9), cycle parking (12), landscaping (15), construction management plan (21), CCTV (22), construction management plan (24), traffic management plan (25) and refuse storage (26) in respect of demolition of existing garage units and erection of new primary care medical centre with A1 retail pharmacy and undercroft parking.

18/03559/CND - Details submitted pursuant to ref: 17/00433/FUL comprising above-ground works (ONLY Part 4g), Drainage (13), and Water consumption (27) in respect of demolition of existing garage units and erection of new primary care medical centre with A1 retail pharmacy and undercroft parking.

3.4 The proposed second addition while not seeking to re-develop the site in its entirely is of a significant material scope to warrant a new planning application and assessment at Planning Committee.

4.0 Site and Surroundings:

4.1 The site is located on the western side of Chase Side, at its junction with Chase Side Avenue. On the opposite side of the junction to the north is a

public house (The Moon Under Water), to the east is No.1 Parsonage Gardens, with residential beyond. To the south is 103 Chase Side, a grade II listed Georgian dwelling house with a linked single storey extension to the north which has been used as an A1 unit, with a series of single storey outbuildings formed along the common boundary. South-west of the site, on the opposite side of Chase Side, is Christ Church (grade II listed).

4.2 The site is currently in use as a car sales yard ("Advanced Car Sales"), with a vehicle showroom fronting Chase Side and a two storey corrugated garage located towards the rear. An unattractive palisade fence encloses the site.

4.3 Vehicular access into the site is off Chase Side (to allow for vehicles to be moved off the forecourt). A dropped kerb is also located on Chase Side Avenue diagonally opposite the vehicle entrance for the public house, however use of this is by the aforementioned palisade fencing.

4.4 The site sits immediately north of the Enfield Town Conservation Area and within the Chase Side Large Local Centre.

5.0 Proposal:

5.1 Permission is sought for the demolition of the storage unit on site and erection of a part 2, part 3-storey building operating as a D1 use with part ancillary A1 use at ground floor (Pharmacy) and associated on-site car parking, boundary treatments and highway works.

5.2 The site has already received formal planning approval for the majority of the hereby applied for development and following the approval of pre-commencement conditions and a variation of condition to the site and to date commenced development. The current planning application seeks to erection a part two storey element set back from the perimeter of the host flank elevations. The proposed development includes all pre-commencement conditions and changes as pert he variation of condition planning application previously approved on site.

5.3 The proposed second floor roof extension adds approximately 204.6m² of additional floorspace to the previously approved scheme of 954m² resulting in a cumulative new floorspace of 1158m² and additional treatment and staff rooms.

5.4 The development will vary in height: 7.2m to the top of the first floor parapet level and 10.7m inclusive of the part two storey set back element on the top. The main parts of the building fronting Chase Side and Chase Side Avenue include a corner tower feature 9.5m in height. The top of the glazed link between No.105 Chase Side shall be 6.6m in height providing a light weight bridge between the historic building and the new elements of the scheme.

5.5 The ground floor will contain three consulting rooms, reception and waiting room, together with the pharmacy within the tower feature, which can be accessed either internally or via its own entrance onto Chase Side. The first floor will contain a further eleven (11) consulting rooms, 2 x multi-purpose rooms, 2 x treatment, 2 x utility rooms and 1 x nurse consulting room. The second floor shall be formed of 1 x student rooms, 1 x staff room, PM office, 1 x general office, 1 x Admin office, Conference room and a W.C.

5.6 Twenty one parking spaces will be provided on site, accessed via an existing crossover onto Parsonage Gardens. As part of the previous planning approval a layby is proposed for Chase Side to provide for patient drop off / pick up clear of the highway. The applicant to date has agreed the terms of the obligations attached to the previous planning approval and a contract with the highways team has been entered in to.

6.0 Relevant Planning History:

Site history

6.1 Reference - 17/00433/FUL

Development Description - Demolition of existing garage units and erection of new primary care medical centre with A1 retail pharmacy and undercroft parking.
Decision Level – Granted via Planning Committee subject to a s106 legal agreement and planning conditons
Decision Date – Granted 25/07/2017

6.2 Reference - 19/00669/VAR
Development description - Variation of condition 2 of approval 17/00433/FUL, granted 19/12/2017, (Demolition of existing garage units and erection of new primary care medical centre with A1 retail pharmacy and undercroft parking).
Decision Level – Delegated
Decision Date – Granted 20/06/2019

6.3 Reference - 18/02660/CND
Development Description - Details submitted pursuant to ref: 17/00433/FUL comprising above-ground works, materials (4 -(a) -(f) only), access and junction (5), hard surfacing (6), external lighting (9), cycle parking (12), landscaping (15), construction management plan (21), CCTV (22), construction management plan (24), traffic management plan (25) and refuse storage (26) in respect of demolition of existing garage units and erection of new primary care medical centre with A1 retail pharmacy and undercroft parking.
Decision Level – Delegated
Decision Date – Granted 17/04/2019

6.4 Reference - 18/03559/CND
Development description - Details submitted pursuant to ref: 17/00433/FUL comprising above-ground works (ONLY Part 4g), Drainage (13), and Water consumption (27) in respect of demolition of existing garage units and erection of new primary care medical centre with A1 retail pharmacy and undercroft parking.
Decision Level – Delegated
Decision Date – Granted 20/06/2019

Enforcement History

6.5 No enforcement history exists on site

7.0 Consultation:

7.1 *Neighbours: 64* surrounding properties (21 days expired 5th August 2019) were notified by letter on the 12th July 2019. The development was advertised by the displaying of two site notices in close proximity to the site (photo below. Two letters of objection were received by the council, summarised below,

- Excessive scale/mass
- Loss of daylight/sunlight
- Increase in security concerns due to access to the site
- Overlooking of adjacent properties
- Overdevelopment

Officer Comments

7.2 The concerns raised by neighbouring properties shall be covered in the report however a number robust conditions shall be applied to the site to improve security and boundary treatments.

7.3 Statutory and Non-Statutory Consultees:

Internal Consultations:

7.4.1 Transportation & Transport – Suitable conditions and revised plans have been updated to illustrate the use of charging points. Further information is found in the transport section.

7.4.2 SUDs – The inclusion of permeable and other water retention controls on site are considered acceptable to meet requirements for the SUDs on site. a Verification Report demonstrating that the approved drainage / SuDS measures shall form part of the planning conditions.

7.3.3 Tree officer – No objections to the development on tree grounds. loss and re-provision of trees on site subject to a robust landscape condition.

7.3.4 Environmental Health – No Objection to the development, pre-commencement planning conditions to be applied to the site to prevent noise to the immediate surroundings.

External Consultations:

7.3.5 Thames Water – No response

7.3.6 MET police – Pre-commencement conditions shall be applied to retain and improve security apparatus on site.

7.3.7 CAG (Conservation Area Group) – Please see below in full

Substantial efforts you have made in reducing the height of the lift over-run. My CAG working party colleagues have been briefed on your latest advice. By my calculation, taken from the dimensioned drawings, the roof of the over-run is 791 mm (circa 2 feet 8 inches) above the second floor roof level. Given where we were that is a massive improvement and it is acceptable.

Regarding the over-run cladding; it should be light grey so as to fade into a typical English day. Will you now carry on and determine the application under delegated powers knowing CAG is supportive. Just to make sure may I recommend you condition the height of the shaft to be no more than

is shown on their latest drawing 1711 - 413 dated 21/11/18 titled 13 Person Stretcher Lift Shaft Details (i.e. 791 mm).

Officer comments

The consultation responses have suggested conditions to be applied to the site and overall are broadly supportive of the development.

8.0 Relevant Planning Policies:

8.1 London Plan (2016)

Policy 3.2	Improving health and addressing health inequalities
Policy 3.16	Protection and enhancement of social infrastructure
Policy 3.17	Health and social care facilities
Policy 4.7	Retail and town centre development
Policy 5.1	Climate change mitigation
Policy 5.2	Minimising carbon dioxide emissions
Policy 5.3	Sustainable design and construction
Policy 5.5	Decentralised energy networks
Policy 5.6	Decentralised energy in development proposals
Policy 5.7	Renewable energy
Policy 5.8	Innovative energy technologies
Policy 5.9	Overheating and cooling
Policy 5.10	Urban greening
Policy 5.11	Green roofs and development site environs
Policy 5.13	Sustainable drainage
Policy 5.14	Water quality and wastewater infrastructure
Policy 5.16	Waste net self-sufficiency
Policy 5.18	Construction, Excavation and Demolition Waste
Policy 6.3	Assessing the effects of development on transport capacity
Policy 6.7	Better streets and surface transport

Policy 6.9	Cycling
Policy 6.12	Road network capacity
Policy 6.13	Parking
Policy 7.1	Lifetime neighbourhoods
Policy 7.2	An inclusive environment
Policy 7.3	Designing out crime
Policy 7.4	Local character
Policy 7.5	Public realm
Policy 7.6	Architecture
Policy 7.8	Heritage assets and archaeology
Policy 7.14	Improving air quality
Policy 7.15	Reducing noise and enhancing soundscapes
Policy 7.19	Biodiversity and access to nature

8.2 Core Strategy (2010)

CP7: Health and social care facilities and the wider determinants of health
CP20: Sustainable energy use and energy infrastructure
CP21: Delivering sustainable water supply, drainage and sewerage infrastructure
CP22: Delivering sustainable waste management
CP24: The road network
CP25 Pedestrians and cyclists
CP26: Public transport
CP30: Maintaining and improving the quality of the built and open environment
CP31: Built and landscape heritage
CP32: Pollution
CP36: Biodiversity
CP46: Infrastructure contributions

8.3 Development Management Document (2014)

DMD16	Provision of New Community Facilities
DMD17	Protection of Community Facilities
DMD28	Large Local Centres, Small Centres and Local Parades
DMD37	Achieving High Quality Design-Led Development
DMD38	Design Process
DMD44	Preserving and Enhancing Heritage Assets
DMD45	Parking Standards
DMD47	New Roads, Access and Servicing
DMD48	Transport Assessments
DMD49	Sustainable Design and Construction Statements
DMD50	Environmental Assessment Methods
DMD51	Energy Efficiency Standards
DMD53	Low and Zero Carbon Technology
DMD54	Allowable Solutions
DMD55	Use of Roof Space / Vertical Surfaces
DMD56	Heating and Cooling
DMD57	Responsible Sourcing of Materials
DMD58	Water Efficiency
DMD59	Avoiding and Reducing Flood Risk
DMD60	Assessing Flood Risk
DMD61	Managing Surface Water
DMD65	Air Quality
DMD68	Noise
DMD69	Light Pollution
DMD70	Water Quality
DMD78	Nature Conservation
DMD79	Ecological Enhancements
DMD81	Landscaping

8.4 Other Relevant Policy and Guidance

National Planning Policy Framework (NPPF 2019)
National Planning Practice Guidance (NPPG)
Section 106 Supplementary Planning Document (2016)
Enfield Town Conservation Area Character Appraisal (2015)
Enfield Town Conservation Area Character Management Proposals (2015)
Enfield Characterisation Study (2012)
Historic England: The Setting of Heritage Assets: Historic Environment Good Practice Advice in Planning: 3

9.0 Analysis:

Principle

9.1 The principle of providing a medical centre (with pharmacy) in this Large Local Centre is accepted and has been established via the planning approval reference 17/00433/FUL. The proposal seeks to add a part second floor adding approximately 204.62m² of new commercial floorspace. The principle assessment of the planning application is therefore based on the impact of the additional second floor extension on the conservation area and heritage asset and wider location opposed to the principle of operational use on site.

9.2 In addition, consideration must also be given to all other relevant planning matters such as the potential impact on the amenity of neighbouring residential occupiers and the impact on highway safety.

Heritage Considerations

Statutory Background

9.3 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 ("Listed Buildings Act") confirm that special attention shall

be paid to the desirability of preserving a listed building or its setting (s.66) and preserving or enhancing the character or appearance of that area (s.72). As confirmed by the Court of Appeal (Civil Division), the decision in Barnwell Manor Wind Energy Ltd v East Northamptonshire District Council [2014] EWCA Civ 137, it was concluded that where an authority finds that a development proposal would harm the setting of a listed building or the character and appearance of a conservation area, it must give that harm "*considerable importance and weight*".

9.4 Further case law has also confirmed the correct approach to be taken when assessing applications with heritage considerations e.g.

- The Forge Field Society & Ors, R v Sevenoaks District Council [2014] EWHC 1895 (Admin);
- R. (on the application of Hughes) v South Lakeland DC [2014] EWHC 3979 (Admin);
- Pugh v Secretary of State for Communities and Local Government [2015] EWHC 3 (Admin);
- Jones v Mordue [2015] EWCA Civ 1243; and
- Forest of Dean DC v S of S and Gladman [2016] EWHC 421

9.5 Section 16 of the National Planning Policy Framework 2019 ("NPPF") (Conserving and enhancing the historic environment) advises LPAs in para 189 the following,

"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance".

9.6 Para 196 of section 16 goes on to state, *"where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use".*

9.7 The NPPG advises that the conservation of heritage assets in a manner appropriate to their significance is a core planning principle. It also advises that conservation is an “active process of maintenance and managing change”. Heritage assets are an irreplaceable resource and effective conservation delivers wider social, cultural, economic, and environmental benefits.

9.8 Significance, as advised within the NPPF derives not only from a heritage asset’s physical presence but also from its setting. When assessing significance, it is advised that great weight should be given to the asset’s conservation and the more important the asset, the greater the weight to be applied. Where a development leads to less than substantial harm to the significance of the heritage asset, the harm should be weighed against the public benefits of the proposal, including its optimum viable use. The NPPG advises that what matters in assessing if a proposal causes substantial harm is the impact on the significance of the heritage asset. It does also advise that ‘substantial harm’ is a high test, so may not arise in many cases.

Heritage Assets

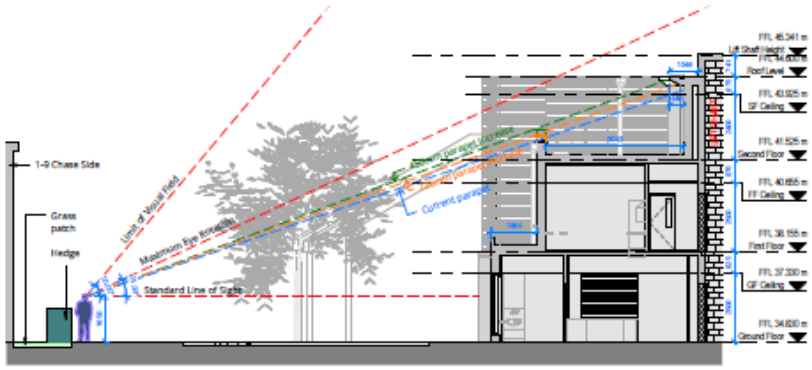
9.9 There are a number of designated and undesignated heritage assets within the vicinity of the site against which the development must be assessed. These include:

- The Enfield Town Conservation Area;
- Christ Church (listed building)
- No.93-97, 103 Chase Side (listed buildings)
- Nos.54, 56, 101 Chase Side (buildings making a positive contribution to the CA)
- No.99 (a landmark building)
- No.105 (undesignated)

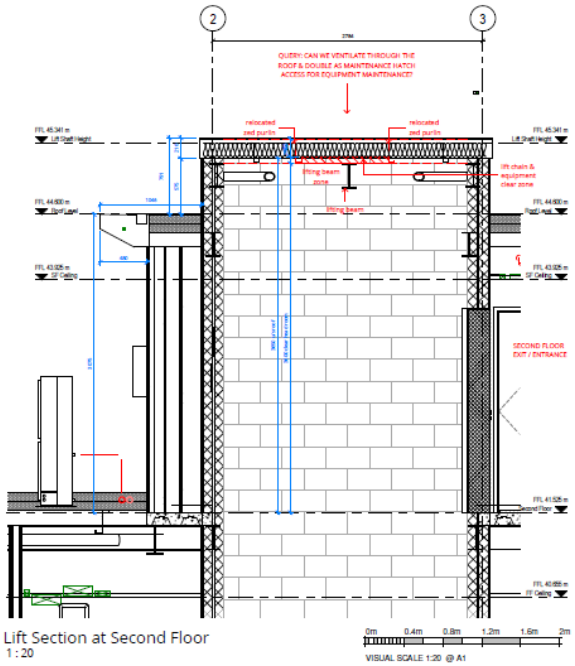
9.10 The development proposal will not challenge the setting and views of the various designated and undesignated heritage assets. While it is acknowledged the part third storey would add weight and massing to the building previously approved, it is nonetheless set in from the external

elevations by only in distance views from parsonage Lane would be visible in its entirety.

9.11 The CAG (Conservation area Group) have been consulted and have requested changes to the lift overrun. The lift overrun has subsequently been reduced in height and appears less visible from public and private views. The illustration of the lift overrun is shown below,



Second Floor Visibility Section Sketch
1 : 100



9.12 Having regard to the statutory requirement to give special attention to the desirability of preserving a listed building or its setting (s.66) and preserving or enhancing the character or appearance of a conservation area (s.72) the proposal has been assessed against the identified heritage assets as set out above. It is considered that the development proposals will not lead to any harm to the designated or undesignated heritage assets having regard to Policy 7.8 of the London Plan, Core Policy 31, Policy DMD44 of the Development Management Document, and with section 12 of the NPPF. The development proposals must therefore now be assessed against any other material considerations, in accordance with s.38(6) of the of the 2004 Act and s.70(2) of the T&CPA 1990.

Impact on Character of Surrounding Area

9.13 The additional part third storey does not result in a redesign of the building and is considered to be an appropriate addition in design terms to best create new space and response to the host building previously given

planning approval. The previously approved corner feature in particular remains the principle highlight of the building and from a legibility prospective maintains the pre-eminence of the community facility with entrances clearly and appropriately demarcated. Whilst it has not been possible to completely eliminate the lift overrun, it was not possible to relocate it on the roof without some projection.

Impact on Neighbouring Properties

9.14 The nearest affected dwelling is located to the rear (east) at No.1 Parsonage Gardens. Windows serving six treatment rooms and consultation rooms will face towards this property, however given the nature of the proposed rooms, it would be expected that these are obscure glazed to primarily afford privacy for the patients. A condition would be imposed on any approval to secure this.

Highway Safety

Parking

9.15 Twenty-one parking spaces are proposed as per the previous approval with the addition of electric charging points and a modest revised layout. In order to accept the current parking levels without further surveys (i.e. 21 spaces), a baseline Travel Plan which includes current surveys of patients and staff to understand their travel behaviour will be required. Details of measures, actions and targets will also be required to be set. Following the establishment of the baseline Travel Plan, a detailed updated Travel Plan will be required for the 1st, 3rd and 5th year post occupation to determine the extent of mode shift to more sustainable travel modes. The plan will require monitoring and a sum of £3723 has been secured by way of an Agreement via the previous agreement. A condition shall be applied tying the new development with the obligations of the previous approval.

Access and Servicing

9.16 The main concern is access arrangements and servicing. A layby is required on Chase Side for patients to be dropped off/picked up because

the previous proposed arrangement on Chase Side Avenue would have lead to issues with the servicing of the Public House on the opposite side of the road. The scheme was previously approved with a layby and the current application retains it. The money required for the previously approved development has been paid to the highway department and the planning department has received formal confirmation of payment.

Cycling

9.17 Cycle parking is provided on site with details included in the submission. The cycle parking includes visitor spaces and parking for employees. The cycle parking is secure, sheltered from the weather and lit. The plans provided include detailed designs of the bike store, including dimensions, materials of the bike racks, and materials of the bike store.

Sustainable Design and Development

Biodiversity / Ecology

9.18 Core Policy 36 confirms that all developments should be seeking to protect, restore, and enhance sites. The submitted Ecological Assessment concludes that the development would not have any ecological impact beyond the site boundary and upon designated sites due to distancing to those sites. Notwithstanding, all developments should enhance the ecological value of their site and some plantings are provided. Landscaping and some bird boxes can be secured by condition.

Drainage

9.19 London Plan policies 5.12 and 5.13 require the consideration of the effects of development on flood risk and sustainable drainage respectively. Core Policy 28 (“Managing flood risk through development”) confirms the Council’s approach to flood risk, inclusive of the requirement for SuDS in all developments. Policies DMD59 (“Avoiding and reducing flood risk”) confirms that new development must avoid and reduce the risk of flooding, and not increase the risks elsewhere and that Planning permission will

only be granted for proposals which have addressed all sources of flood risk and would not be subject to, or result in unacceptable levels of flood risk on site or increase the level of flood risk to third parties. DMD61 ("Managing surface water") requires the submission of a drainage strategy that incorporates an appropriate SuDS scheme and appropriate greenfield runoff rates.

9.20 The pre-commencement sustainable drainage planning condition forming part of planning approval under reference 17/00433/FUL has been discharged. The proposed addition of a part third floor will retain a green roof and other water retention features able to meet the outputs and measures of the approved drainage strategy. A Drainage verification report shall be sought as a pre-operational planning condition.

Energy

9.21 Non-domestic buildings in the period 2016-2019 should be looking to achieve a 35% improvement on 2013 Building Regulations. A detailed Energy Strategy was provided as part of a pre-commencement sustainable drainage planning condition forming part of planning approval under reference 17/00433/FUL. The submitted plans illustrate solar panels shall be placed on the roof of the part third floor extension and therefore the LPA is satisfied the sustainable power generation shall not be impacted.

Security

9.22 The Metropolitan police have provide pre-commencement conditions to be applied to the planning approval

Construction Site Waste Management

9.23 Policy 5.16 of the London Plan has stated goals of working towards managing the equivalent of 100% of London's waste within London by 2026, creating benefits from waste processing and zero biodegradable or recyclable waste to landfill by 2026. This will be achieved in part through

exceeding recycling and reuse levels in construction, excavation, and demolition ("CE&D") waste of 95% by 2020.

9.24 In order to achieve the above, London Plan policy 5.18 confirms that through the Local Plan, developers should be required to produce site waste management plans to arrange for the efficient handling of CE&D. Core Policy 22 of the Core Strategy states that the Council will encourage on-site reuse and recycling of CE&D waste.

Community Infrastructure Levy (CIL

Mayoral CIL

9.25 The Mayoral CIL is collected by the Council on behalf of the Mayor of London. The amount that is sought is for the scheme is calculated on the net increase of gross internal floor area multiplied by an Outer London weighting (increased to £60per sqm as of 1st April 2019). Medical clinics are exempt from the CIL payment.

Enfield CIL

9.26 The Council introduced its own CIL on 1 April 2016. The money collected from the levy (Regulation 123 Infrastructure List) will fund rail and causeway infrastructure for Meridian Water. Enfield has identified three residential charging zones and the site falls within the highest charging rate zone (£120/sqm), however the scheme is not CIL liable.

Planning Obligations

9.27 Funds and contributions secured via the approved planning application under reference 17/00433/FUL has been paid to the Local Highway Authority, including the below:

- Traffic Regulation Order £2500
- Investigative trial hole £2000
- Lay-by construction £10000
- Travel Plan monitoring £3723

- Cycle Enfield project £10000

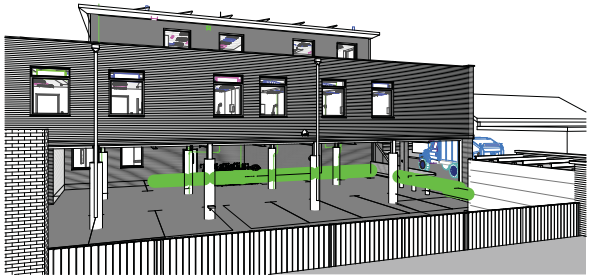
10.0 Conclusion

10.1 The rationale for the existing surgery to relocate is accepted given that with current and future demand, in its current location with its heritage constraints, is unable to physically extend any further. The proposed site therefore provides an opportunity to provide modern facilities in a location not too distant from the existing.

11.0 Recommendation

That, **PLANNING PERMISSION BE GRANTED subject to a s106 legal agreement and planning conditions**

1 Nunns Road View 1st Floor Window

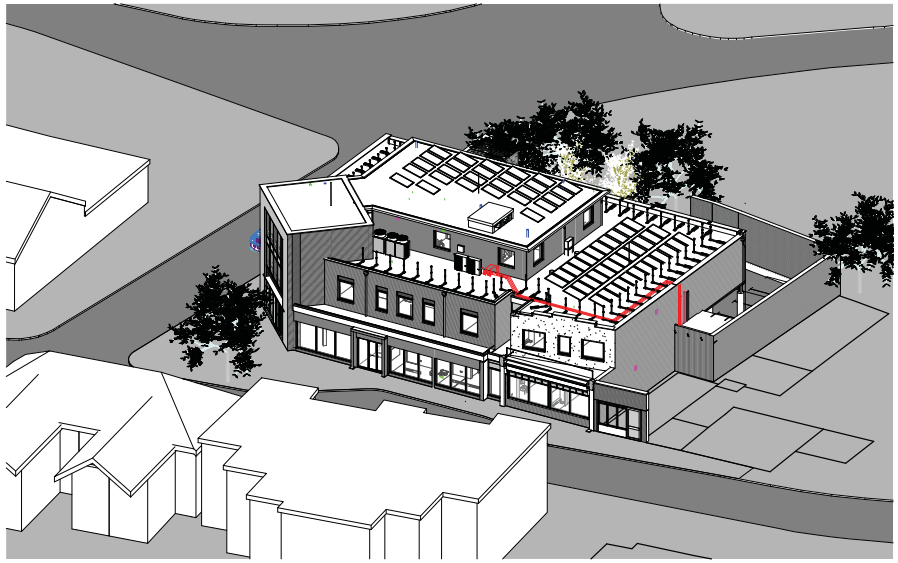


2 Parsonage Gardens 1st Floor Window

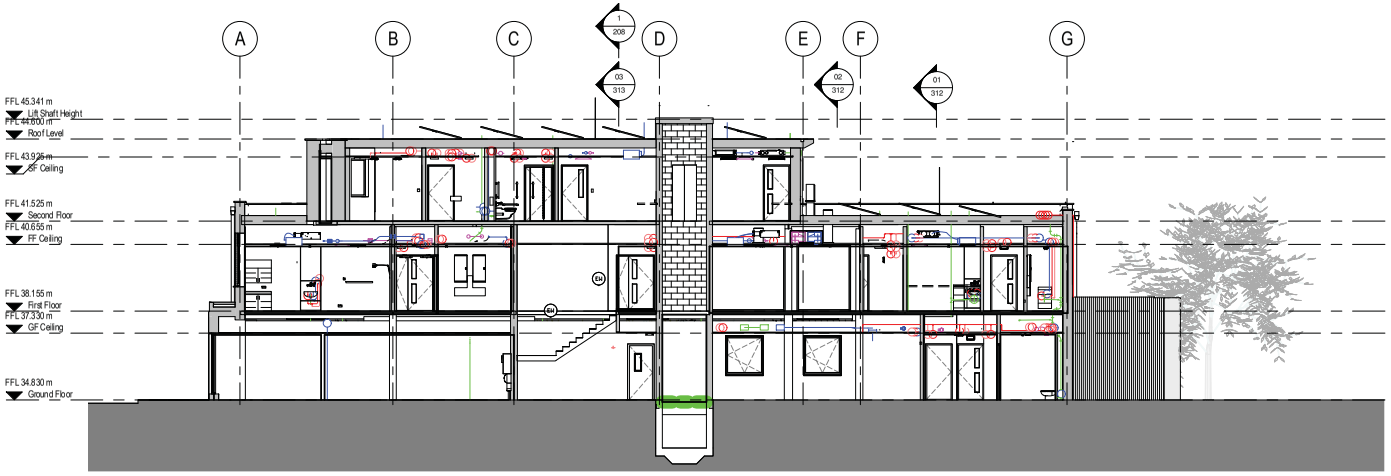
3 Parsonage Gardens 1st Floor From Distance

4 Chase Side Street Level

6 Chase Side 1st Floor Window From Distance



5 3D View PV



7 Section 2
1 : 100

0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ A1

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GENERAL NOTES

REV	DATE	DESCRIPTION

PLANNING

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Neighbour Views

SCALE	DRAWN/CHKD	DATE
1 : 100@A1	PC	21.11.18

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DRAWING No. 1711 - 701
Rev.

View from conservation area

View showing proposed design and conservation area - Daytime

View showing proposed design and conservation area - Nighttime

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GENERAL NOTES

REV	DATE	DESCRIPTION
A	05.07.19	PLANNING Second Floor Extension Application

PLANNING

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
3D Street Views

SCALE	DRAWN/CHKD	DATE
@A3	NA PW	21.11.18

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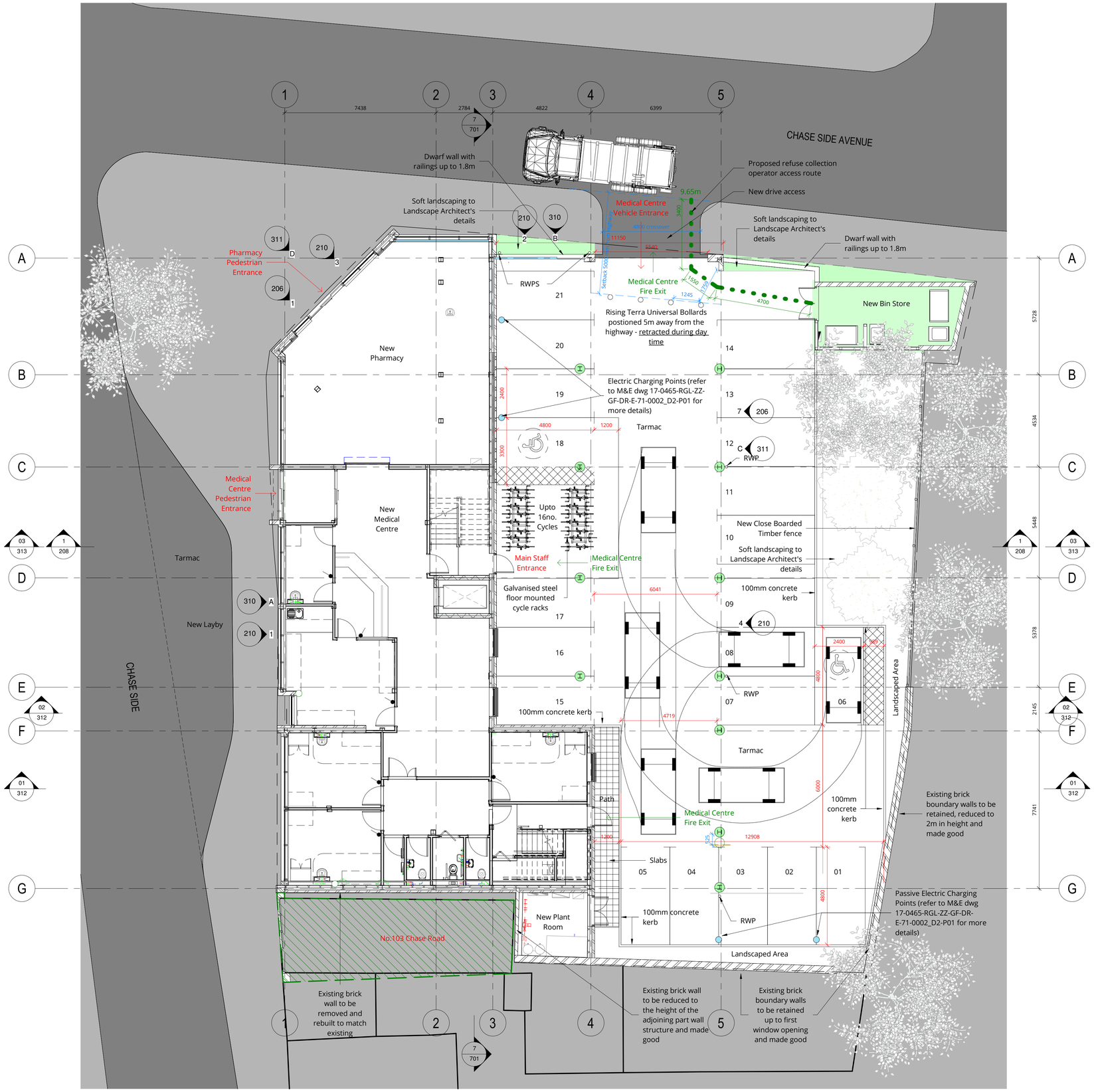
DRAWING No. 1711 - 702
Rev. A



In order to to comply with the Planning Conditions (20%) and The London Plan (1in5), the *Chargemaster plc F7e floor mounted dual socketed 7kW EV charge point* has been specified. This product enables 2no. vehicles to be charged from a single point.

With 21no. spaces, this would mean providing sufficient charging points for 4no. electric vehicles. Therefore we have provided 2no. electronic charging units and a further 2no. passive EVs.

To be read in conjunction with drawing *17-0465-RGL-ZZ-GF-DR-E-71-0002_D2-P01*.

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR EXTERNAL FINISHES & PLANTING DETAILS

REFER TO CIVIL ENGINEER'S DRAWINGS FOR SURFACE LEVELS, FINISHES & DETAILS

0m 1m 2m 3m 4m 5m

VISUAL SCALE 1:50 @ A1

North

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GENERAL NOTES

REV	DATE	DESCRIPTION
	09.02.18	TENDER ISSUE
A	29.03.18	PLANNING CONDITIONS DISCHARGE - Layout updated to show pedestrain gate and reduced width sliding gate, cycle rack and external works annotations.
B	11.04.18	Party Wall reference removed.
C	17.04.18	TENDER ADDENDUM Party wall works updated to suit existing conditions and structural recommendations.
D	26.06.18	PLANNING CONDITIONS DISCHARGE UPDATE External sliding gates omitted and replaced with retractable bollards 5m away from highway. Bin store street doors omitted, rear wall within site changed to timber, FF slab detail and insulation type updated and IPS unit spec changed. Vehicle turning circles shown.
E	16.07.18	PLANNING COND UPDATE Electric charging points noted.
F	18.02.19	PLANNING UPDATE Boundary wall amended to provide better access for refuse collection as per Condition 26 requirments. Refuse collection route shown and associated landscape updated accordingly.
	19.02.19	MINOR MATERIAL AMENDMENT APPLICATION TO VARY CONDITION 2
G	14.08.19	PLANNING Passive EV points added to parking bays on GL-G and crossover width reduced to 4.8m.

RIBA 5 - CONSTRUCTION

CLIENT

White Lodge Medical Practice

PROJECT TITLE

White Lodge Medical Practice

DRAWING TITLE

Proposed Site Access Plan

SCALE	DRAWN/CHKD	DATE
1 : 100@A1	SJ	21.11.18

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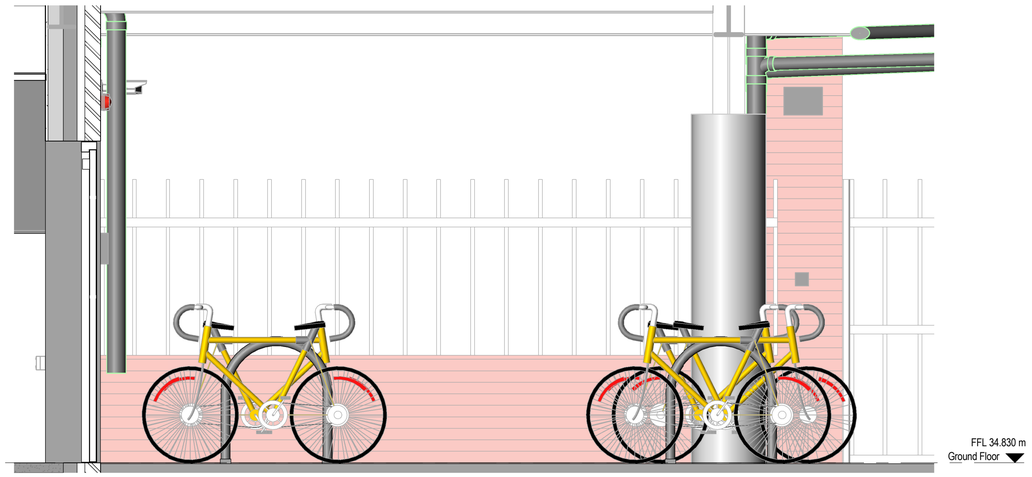
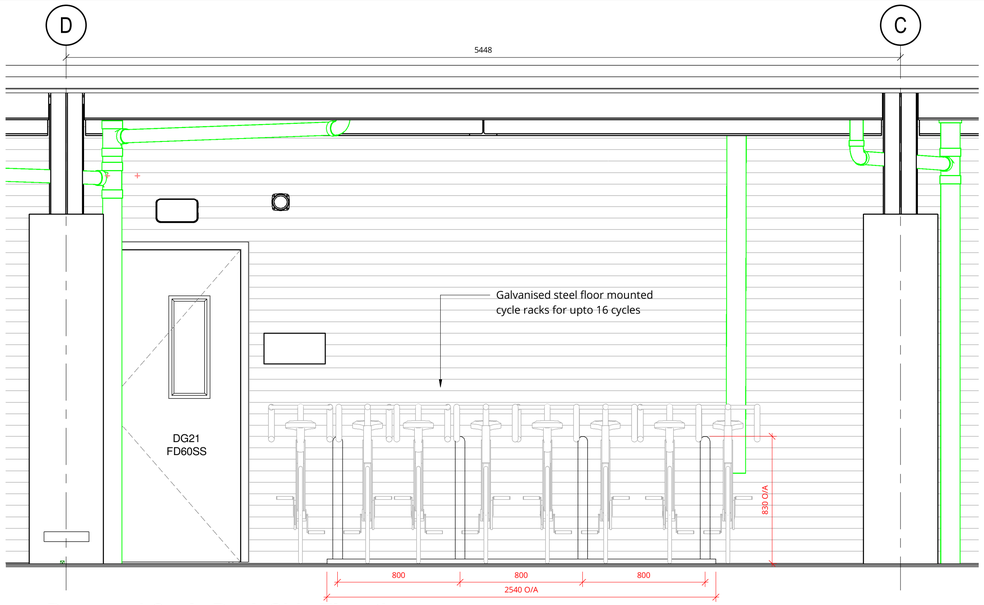
DRAWING No. 1711-MEB-301

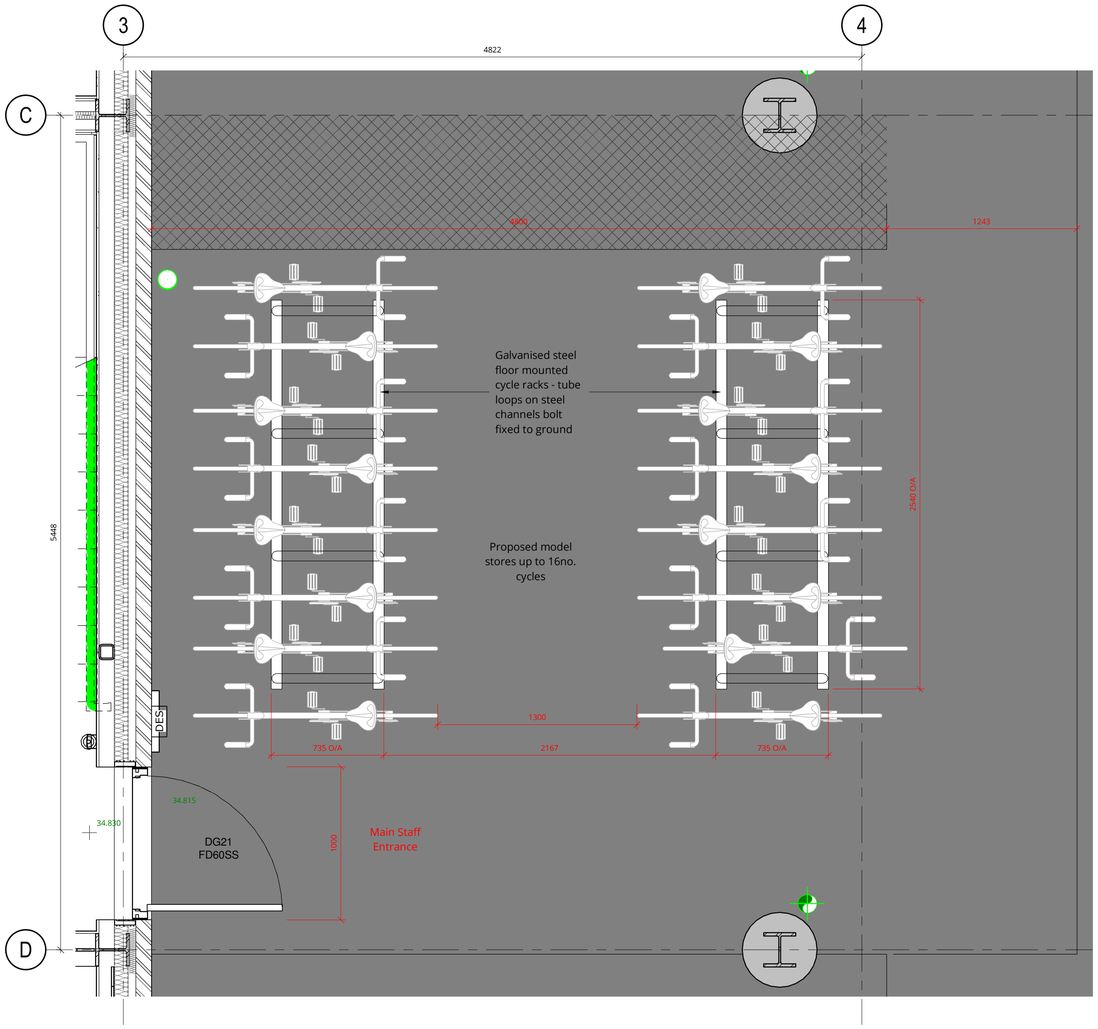
Rev. G



2 Proposed Cycle Rack Front Elevation
1 : 20



1 Proposed Cycle Rack Side Elevation
1 : 20



0 Proposed Ground Floor (inc Parking)
1 : 20

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GENERAL NOTES

REV	DATE	DESCRIPTION
	29.03.18	PLANNING CONDITIONS DISCHARGE

PLANNING CONDITION 12 DISCHARGE

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Proposed Cycle Racks

SCALE	DRAWN/CHKD	DATE
1 : 20@A1	SJ	30.11.17

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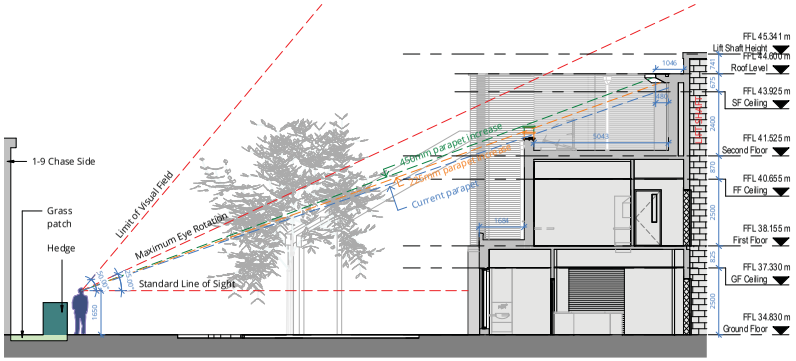
0m 0.4m 0.8m 1.2m 1.6m 2m
VISUAL SCALE 1:20 @ A1

DRAWING No. 1711 - 410
Rev.



Second Floor Visibility Section Sketch

1 : 100

0m 2m 4m 6m 8m 10m

VISUAL SCALE 1:100 @ A1

13-Person Stretcher Lift and shaft to be designed and installed to the recommendations of the Health Technical Memorandum 08-02 Lifts 2016 edition. It must comply with Building Regulations Standards for accessibility, fire access and ventilation, and follow the maintenance procedures set out by the manufacturer.

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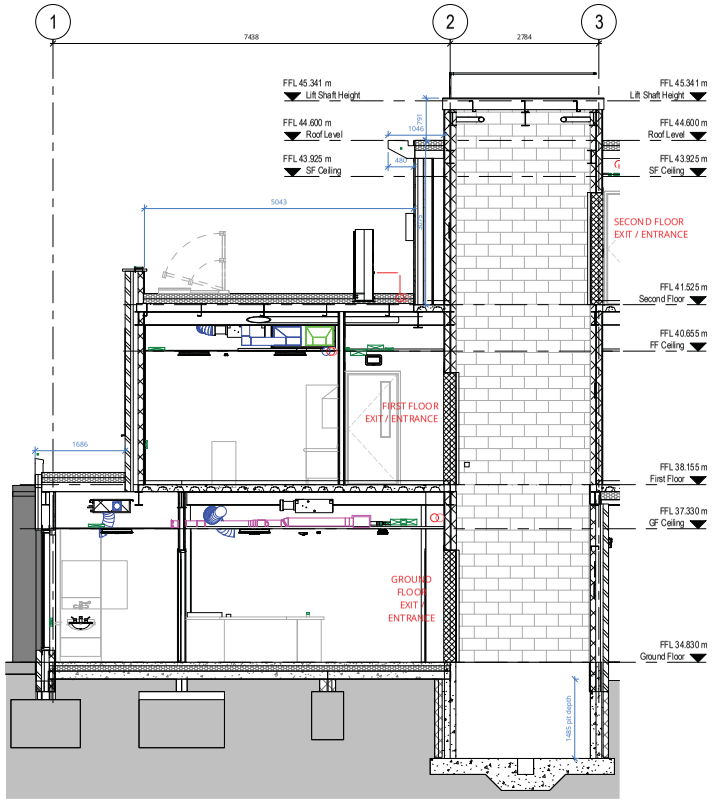
GENERAL NOTES

REV	DATE	DESCRIPTION
A	09.04.19	PLANNING Lift overrun reduced.

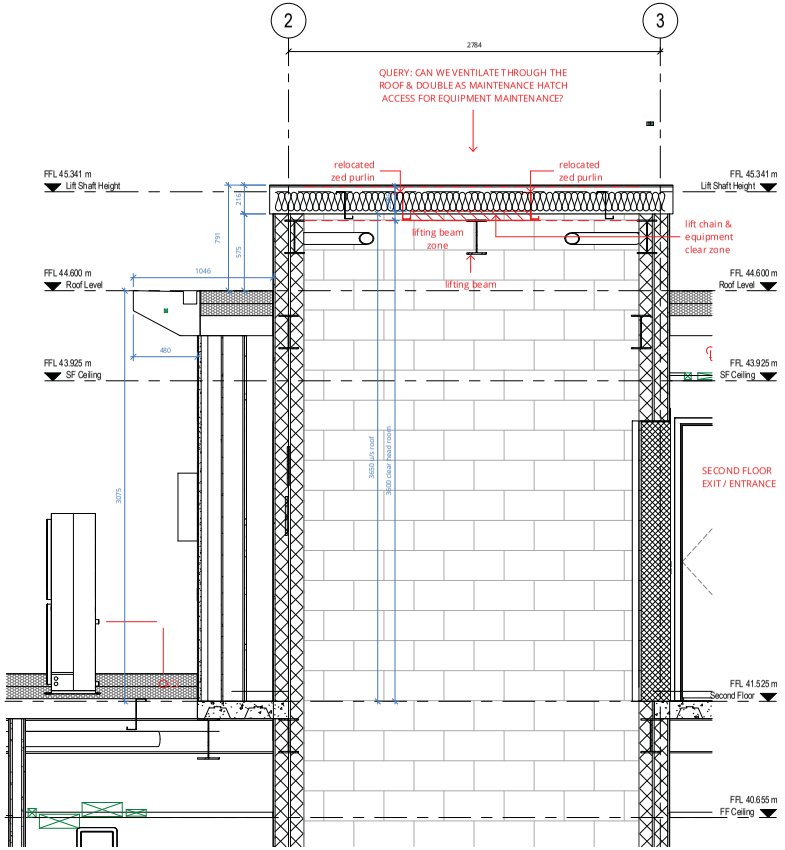


Lift section in context of wider building

1 : 50

0m 1m 2m 3m 4m 5m

VISUAL SCALE 1:50 @ A1



Lift Section at Second Floor

1 : 20

0m 0.4m 0.8m 1.2m 1.6m 2m

VISUAL SCALE 1:20 @ A1

Page 34

PLANNING

CLIENT

White Lodge Medical Practice

PROJECT TITLE

White Lodge Medical Practice

DRAWING TITLE

13 Person Stretcher Lift Shaft Details

SCALE	DRAWN/CHKD	DATE
As indicated@A1	SJ PC	21.11.18

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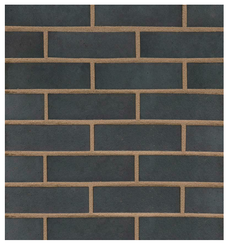
DRAWING No. 1711 - 413

Rev. A

Colour Palette



Bricks:
Wienerberger
New Red Multi Gilt (top left)
Staffordshire Smooth Blue Perforated (bottom lefT)
Glazed White London (top right)

RAL Colours:
RAL 7016 Anthracite Grey (right middle)
RAL 7012 Basalt Grey (right bottom)

Aluminium Curtain walling – 3-storey white brick corner

Product:
SAPA Elegance 52 Curtain Walling

Colour:
RAL 7016 Anthracite Grey PPCA frame (52mm)

Dark Grey Aluminium Coping

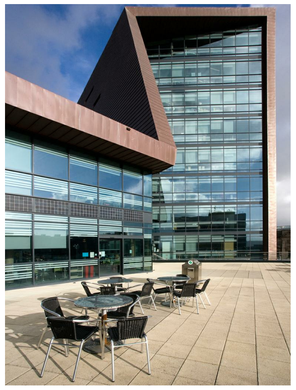
Product:
Sotech Optima (or equal) Clip on Aluminium Coping with 2° fall inwards

Colour:
RAL 7016 Anthracite Grey

Spandrel glass panels (where indicated)

Product:
Pilkington (or equal) Spandrel Glass Panel

Colour:
Graphite

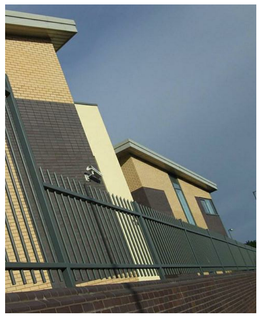


Railings adjacent entrance

NB: Refer also to '*Dwarf wall with Railing*' detail on drawing 1711-412 (New Boundary Treatment)

Product:
Jacksons Fencing Barbican Imperial® range mould steel panels, 1.2m

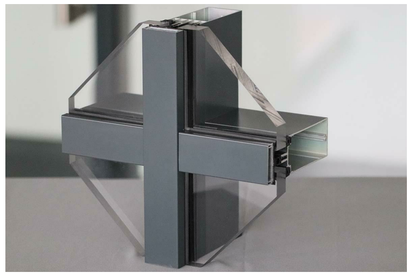
Colour:
7012 Basalt Grey



Curtain walling system – link between old and new

Product:
Comar 6EFT 4sided Structural Glazing

Colour:
RAL 7016 Anthracite Grey PPCA frames (52mm)



Integrated blinds (where indicated)

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REV	DATE	DESCRIPTION

PLANNING CONDITION 04g DISCHARGE

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Proposed External Finishes

SCALE	DRAWN/CHKD	DATE
@A1	SJ	21.11.18

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DRAWING No. 1711 - 414
Rev.

Planning, Design & Access Statement

105-109 Chase Side, Enfield EN2 6NL

Second Floor Extension to 19-00669-VAR

White Lodge Medical Practice

Revision B - 14/08/19

RIBA Chartered Practice
Constructionline
arb Architects Registration Board
Society of British Interior Design

MEB Design Ltd
Chartered Architects

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Use, amount and occupancy.....6
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Access.....8

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Appendix 02 - Heritage Statement Addendum
Appendix 03 - Transport Assessment
Appendix 04 - Transport Assessment Second Addendum Technical Note
Appendix 05 - Sustainability Statement
Appendix 06 - Flood Risk and Drainage Assessment Technical Note
Appendix 07 - Preliminary Contamination Risk Assessment
Appendix 08 - Ground Investigation Report
Appendix 09 - Arboriculture Implications Assessment & Method Statement
Appendix 10 - Environmental Noise Survey Assessment Report
Appendix 11 - Services Assessment
Appendix 12 - Waste Management Strategy

1.0 Introduction

1.1 This design and access statement has been produced in support of an application to create additional floor space in respect of planning application 19-00669-VAR for the erection of new Primary care medical centre with A1 retail pharmacy and undercroft parking.

1.2 During the previous application the applicant amended the application to reintroduce the second floor accommodation.

1.3 This application comes in response to a desire for additional clinical and administration space within the development.

1.4 The design is reduced from that of the original planning application taking into account comments made by planners, design and heritage officers.

1.5 The supporting documentation was based on the previous larger scheme and so the conclusions stand for this application.

2.0 Background

2.1 White Lodge has been a home to the medical profession for over a century and has been an NHS General Practice since the inception of the service in 1948.

2.2 The practice has grown over the years and now has a list size of 11,500 patients, a significant proportion of who are elderly and have significant health needs. The practice premises is a Grade 2 listed building. While the premises have been extended and enhanced over the years, they have now reached the limit of what is possible and the site is no longer suitable for the delivery of modern primary care.

2.3 The need for modern premises in the local area is particularly acute. Enfield is acknowledged as having one of the worst primary care estates anywhere in England with relatively few modern buildings compliant with current standards. Furthermore, the borough is likely to see a steady growth in its population whose health needs cannot be accommodated by the current primary care estate. The estate also needs to improve to meet the challenges laid out in the NHS Five year forward view. This envisages the transformation of the NHS through primary care delivered at scale in modern health centres hosting multiple services.

2.4 For the last decade, the practice has sought to identify a suitable site to develop a modern, purpose built primary care facility that would offer the necessary quality, capacity and access required by the NHS and patients. The limited availability of land in the catchment area had made identifying and acquiring a site extremely challenging.

2.5 The practice is further constrained by the competition for such sites from residential and commercial developers.

2.6 They have therefore been fortunate to identify the site at 105-109 Chase Side. The site is suitable for a new health centre and offers the necessary access and capacity required by the practice. Given the absence of any alternative sites, the practice believes it is essential that they acquire and develop the site as proposed for the benefit of their patients, staff and the wider population in the Town area. The practice are fortunate to have the support of their patients, staff and NHS Enfield CCG for the development.

3.0 Statement of Need

The purpose of the additional space is three fold;

1. ***To better accommodate current services.*** The current premises provide services for 11,260 patients. While there is sufficient administration space, it has become increasingly difficult to accommodate the needs of the patient list within the limited clinical space available. Average consultation times have risen as a result of dealing with an older and more complex population. The practice has had to extend the times over which surgeries run and stagger start and finish times to address this.

2. ***To offer greater training capacity.*** White Lodge is a training practice. There has been a significant increase in the number of medical and nursing undergraduates and therefore post-graduates in recent years as a result of the NHS's need to increase it's workforce to meet the demands of the changing population. There is a nationwide shortage of GPs, a problem particularly acute in Enfield. However, the training capacity in Primary care is limited. Only 9 of Enfield's 47 practices have training status. At present, White Lodge hosts 1 GP registrar (GP trainee) and 1-2 Foundation Year 2 Doctors (Doctors in their second or third year of training seeking to acquire a knowledge of Primary care). The practice wishes to increase the numbers in response to demand but lacks the capacity to do so. These trainees are supernumerary and do not acquire their own patient lists or attract new patients. They share duties with the existing GPs. Typically, a trainee or trainees will share a routine or emergency list with their supervising GP. The same number of patients are seen but with time for supervision, teaching and debriefing. Training in this way does not drive footfall.

3. ***To accommodate the changing model of care.*** The NHS is moving to a digital first model where increasingly patients will access healthcare remotely via smartphones and tablets with less need to visit practices in person. White Lodge recently upgraded it's website to support this and with approximately 20% of other north London practices, will pilot an online triage model, *DoctorLink*, this summer. The limitations to extending this model is the lack of internet bandwidth, which is being addressed by upgrades provided by the NHS, and a lack of confidential spaces in which GPs can carry out online consultations / telemedicine. The additional rooms will be enabled to offer this as well as providing additional training space.

4.0 Use & Planning Policy

4.1 The current site consists of a masonary building (to be rebuilt) part of a complex previously used as a garage and car show room, now vacant.

4.2 Under planning application 17/00433/FUL permission was granted for a three storey medical centre with retail pharmacy.

4.3 Subsequent applications 18/02660/CND, 18/03559/CND and 19/00669/VAR were able to discharge the conditions.

4.4 The current application looks to extend the medical accommodation on the second floor to provide dedicated administration areas and the adaption of previously administration rooms on the first floor into clinical facilities.

5.0 Amount

5.1 The additional gross internal floor space created will be 204.62m².

5.2 The second floor extension will serve the adminstrative facilities comprising the conference room, staff room, and 3no. offices all relocated from the first floor. The server room which was previously within what is now the conference room has been relocated.

5.3 The only new provisions at this level are the Student Room and the accessible and ambulant WCs.

5.4 The 13-person stretcher lift has been extended to serve this floor with protected corridors and lobbies.

5.5 On the first floor the previous FF06 Admin room has been converted into a Nurse Consult room, FF07 Staff Room is now a Consulting room, FF08 Conference room is now a Multipurpose room, and both FF09 & FF10 Offices are now Consulting rooms.

6.0 Occupancy

6.1 The only services moving to the new premises are the White Lodge Medical Practice and the co-located Pharmacy and therefore the footfall is expected to mirror that at the current premises.

6.2 The practice's list size is stable and the catchment area served by the practice will not change as a result of the relocation. An undertaking to this effect was given to NHS England as part of the case for the new premises.

6.3 The practice does not expect a meaningful change in the size of the registered list beyond that which would be expected by any rise or fall in the local population.

6.4 The Practice and Pharmacy have no plans to increase the number of staff employed. The Practice has 11no. Non-Medical (Reception / Administration / Finance Officer and Practice Manager) and 10no. Medical (Nursing / GP / Trainees) staff. The Practice may in fact see a small reduction by virtue of more efficient working - services at the current premises are split over two buildings resulting in more staff than are necessary to staff one building alone.

6.5 Several members of staff are expected to work remotely as a result of being part-time and improvements in technology including the move to cloud based IT systems. For example, the Finance Officer now works 1 day per week on site compared to 3 previously.

6.6 Most of the staff are local and either walk or take public transport to work. At least two cycle.

6.7 The provision of 21no. level access parking spaces is identical to the original approved scheme, the only difference being the allocation of the two accessible bays in greater detail. This matches the numbers stated in both planning application forms.

7.0 Scale

7.1 Chase Side is characterised by terraced and semi-detached two-storey buildings some of which have accommodation in the roofs. Planned roads such as Parsonage Gardens contribute to the unified character of much of the urban environment behind the site to the east, making the current structures on the site fractured and out of context with the streetscape.

7.2 The harmony in scale and heights of buildings and the relationship between existing facades and the public domain is a factor that detailed design development of the site has fully considered.

7.3 This application is in keeping with the scale set in the approved planning application and is set well back from the perimeter of the site to further reduce any impact within the street scene.

8.0 Appearance

8.1 The appearance of the extended second floor has been designed to have minimal impact on the surroundings. This has been achieved through the use of lightweight materials which creates a clear demarcation between the lower floors and the roof extension.

8.2 The materials have been chosen to reflect the modern, clean elements in design of the approved scheme below including curtain walling, aluminium cladding and cornices.

8.3 The material palette comprises aluminium rainscreen wall cladding, single ply roof, aluminium door and windows, and PPCA rainwater goods to compliment and match the scheme below.

8.4 In consultation with the Planners and Enfield CAG teams, we have reduced the height of the lift overrun and the angle of the solar panels. This was achieved through model studies of the scheme to obtain key street views and sightlines.

8.5 The surface materials and means of enclosure will be as the main scheme previously approved and discharged under application ref 19/00669/VAR. Please refer to drawings *1711-414_Proposed External Finishes*, *170465-RGL-00-00-DR-D-120-0001_D1-P06 Proposed Drainage Layout and levels*, *170465-RGL-00-00-DR-D-130-0002_D1-P04 External Construction details private*, 170465-RGL-00-00-DR-D-130-0003 & *1711-412A_New Boundary Treatment* respectively.

9.0 Sustainability

9.1 The completed building will be required to have a BREEAM Excellent rating to meet the NHS requirements. A design stage assessment has been carried out and the recommendations are reflective in the design of the building including window design, site layout, landscaping ecological recommendations and materials selection.

9.2 The Sustainability and Energy Strategy will inform the design proposals for the development. The strategy will help guide the scheme towards an exemplar development which conforms to local and national policies and client aspirations. A BREEAM Excellent rating will be achieved and certified at the post construction stages.

9.3 We will set out clear and ambitious action plans that deliver sustainable developments and engage the local community and businesses to develop a strong low carbon economy by fully integrating low carbon thinking within the development process.

10.0 Access

10.1 The applicant has commissioned a transport statement and this is included in Appendix 2 which highlights to accessibility of the site in relation to public transport and builds upon this in a proposed framework travel plan.

10.2 The design has the following:

- Corridors are a minimum of 1500mm wide
- Level access to all external doors and within the building
- Passenger lift to all floors
- Turning spaces are located at principle junctions.
- Wheelchair refuges are provided at the top of fire exit stair
- Accessible WC facilities for staff and patients

10.3 The scheme proposes sheltered cycle racks beneath the undercroft to accommodate upto 16no. bicycles. Refer to drawing *1711-410 Proposed Cycle Racks*.

10.4 As mentioned in 6.7, there are 21no. level access parking spaces provided as per the original 2017 approved scheme. Both planning applications state 19no. parking spaces and 2no. accessible bays, the site access plan graphically represents this proposal.

We quote the Transport Consultant's conclusion to further support that sufficient parking provision has been provided for this development:

"the impact of the current proposals is likely to be no greater than the previous proposals which received planning approval. Furthermore, it is demonstrated that the future operation of the site, and indeed the NHS, is moving towards a 'digital first model' which will reduce the need for patients to visit practices in person; thereby reducing the impact on the local highway network."

10.5 All external access to the building from the car park and street will be level. Refer to drawing *170465-RGL-00-00-DR-D-120-0001_D1-P06* for site levels.

10.6 In order to to comply with the Planning Conditions (20%) and The London Plan (1in5), the *Chargemaster plc F7e floor mounted dual socketed 7kW EV charge point* has been specified. This product enables 2no. vehicles to be charged from a single point. With 21no. spaces, this would mean providing sufficient charging points for 4no. electric vehicles. Therefore as indicated on drawings *17-0465-RGL-ZZ-GF-DR-E-71-0002_D2-P01* & *1711-301F_Proposed Site Access Plan*, we have provided 2no. electronic charging units and an additional 2no. passive units.

10.7 Access to the car park will be during operational hours. The bollards will be lowered during the operational hours and raised back up out of hours therefore eliminating the waiting time for vehicles entering/existing the car park. We originally proposed an electric sliding security gate however due to Highways previous requirement for a 5m distance from the public highway and space restrictions on the current site, this had to be omitted and replaced by the retractable bollards as per approved application 19/00669/VAR.

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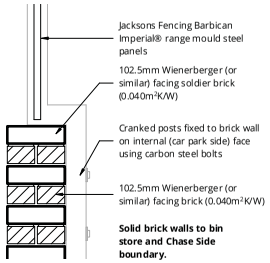
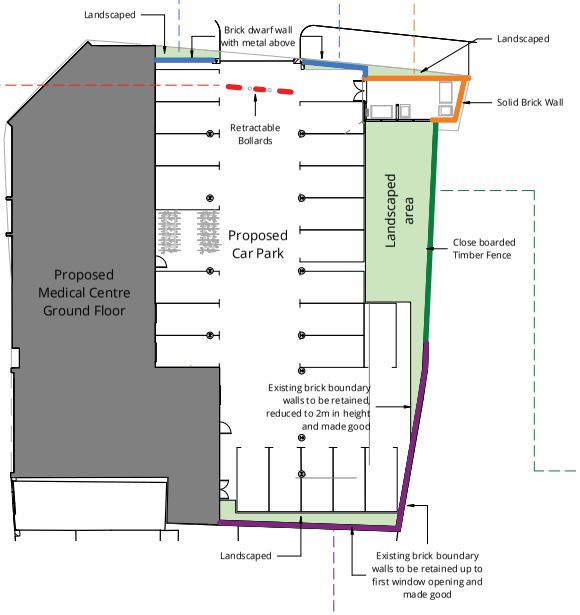
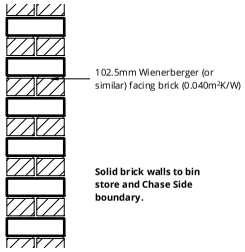


Dwarf Wall with Railing above
1 : 10

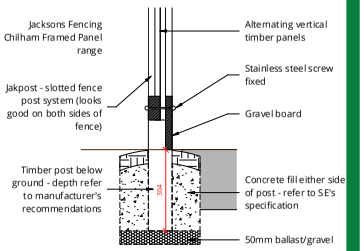




EW Type E - Solid Brick Wall
1 : 10

Retractable bollards to Manufacturer's details

Existing brick wall retained and made good



EW Type F - Close Boarded Fence
1 : 10

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GENERAL NOTES

REV	DATE	DESCRIPTION
	19.02.19	MINOR MATERIAL AMENDMENT APPLICATION TO VARY CONDITION 2
A	04.04.19	PLANNING UPDATE Fixing detail and material note updated to suit manufacturer's information.

PLANNING

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
New Boundary Treatment

SCALE	DRAWN/CHKD	DATE
As indicated@A1	SJ	21.11.18

Plan:
0m 4m 8m 12m 16m 20m
VISUAL SCALE 1:200 @ A1

Details:
0m 0.2m 0.4m 0.6m 0.8m 1m
VISUAL SCALE 1:10 @ A1

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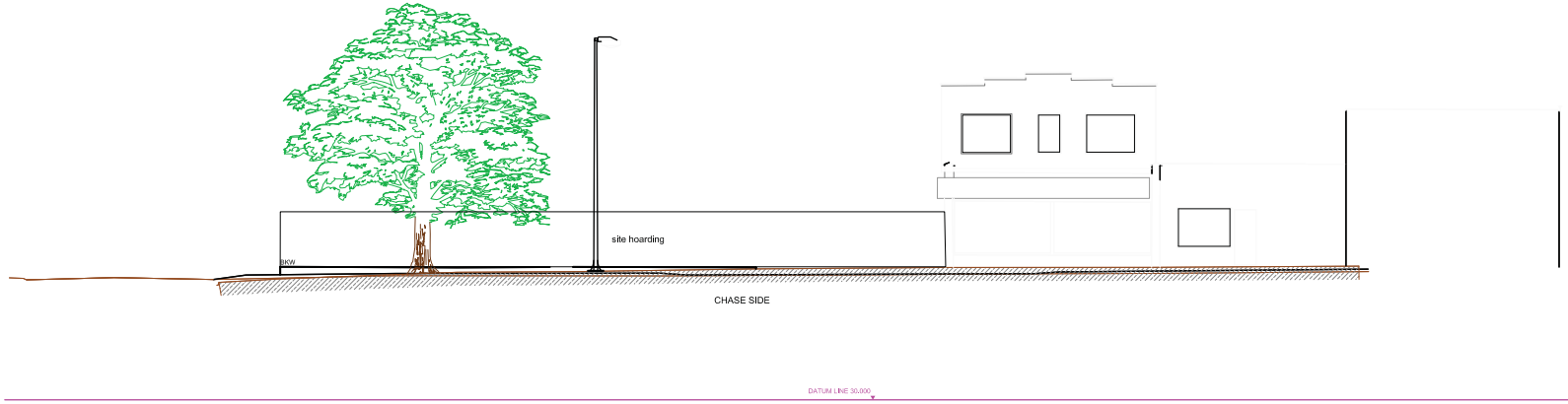
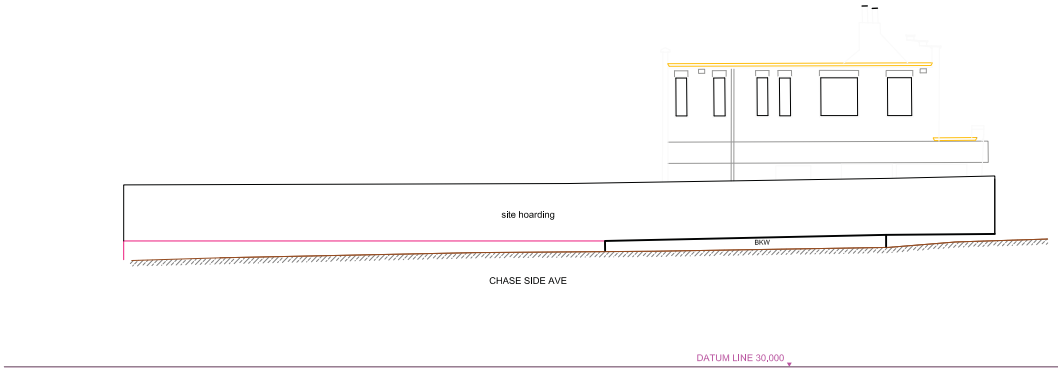
DRAWING No. 1711 - 412
Rev. A



Drawing amended by MEB Design to show extent of building currently standing post demolition works.



Drawing No. SDS 204605.03

Revision

SURVEY LEGEND

GENERAL

AR	ASSUMED ROUTE	LB	LETTER BOX
AV	AIR VALVE	LH	LAMP HOLE
		LP	LAMP POST
BB	BOLLISH BEACON		
BD	BACKDROP	MH	MANHOLE
Bdy	BOUNDARY	MK	MARKER POST
BH	BOREHOLE	MS	MILE STONE
BL	BED LEVEL		
BO	BOLLARD	NB	NOTICE BOARD
BS	BUS STOP	NP	NAME-PLATE
BWM	BRICK WALL		
		OH	OVERHEAD
CATV	CABLE TELEVISION	OSBM	ORDNANCE SURVEY BENCH MARK
CB	CABLE RISER		
CE	CATTLE GRID	PC	PENSTOCK
CH	CHANNEL LEVEL	PI	PIPE
CL	COVER LEVEL	PM	PARKING METER
Conc	CONCRETE	PO	POST
Corr	CORRUGATED		
CP	COPING LEVEL	RB	RUBBISH BIN
CPS	CONC. PAVING SLABS	RE	RODDING EYE
CR	CROWN LEVEL	RS	ROAD SIGN
CUL	CULVERT	RTW	RETAINING WALL
		RWP	RAIN WATER PIPE
DK	DROP KERB		
DP	DOWN PIPE	SA	SAPLING
		S/Ancy	SCAFFMARK
EB	ELECTRICITY BOX	SC	STOP COCK
EC	ELECTRICITY CABLE	SL	SOFFIT LEVEL
Eg+MH	ELECTRICITY MANHOLE	SVP	SOIL VENT PIPE
EP	ELECTRICITY POLE	SP	SIGN POST
EPy	ELECTRICITY PYLON	STN	SURVEY STATION
ER	EARTHING ROD	SW	SURFACE WATER
FH	FIRE HYDRANT	TB	TREE BOLE
FL	FLOOR LEVEL	TBM	TEMPORY BENCH MARK
FM	FLOW METER	TCB	TELEPHONE CALL BOX
FB	FLOWER BED	TH	THRESHOLD
FW	FOUL WATER	TL	TRAFFIC LIGHT
		TMH	TELEPHONE MANHOLE
GL	GROUND LEVEL	TOW	TOP OF WALL
GP	GATE POST	TP	TELEGRAPH POLE
GU	GULLY	TS	TREE STUMP
GV	GAS VALVE		
		U/G	UNDERGROUND
H	HIGH	U/L	UNABLE TO LOCATE
HD	HOLE	U/R	UNABLE TO RAISE
HW	HEADWALL		
		VA	VALVE
IC	INSPECTION COVER	VP	VENT PIPE
IL	INVERT LEVEL		
		W	WIDE
JB	JUNCTION BOX	WL	WATER LEVEL
		WM	WATER METER
		WO	WASH OUT
KG	KERB INLET GULLY	WP	WOODEN POST
KL	KEEP LEFT ROAD SIGN	WV	WATER VALUE

FENCE TYPES

BWF	BARBED WIRE FENCE	WF	INTERWOVEN FENCE
CBF	CLOSE BOARDED FENCE	LLF	LARCH LAP FENCE
CLF	CHAINLINK FENCE	PAL	PALISADE FENCE
CWF	CHESTNUT PALING FENCE	PRF	POST & RAIL FENCE
CWF	CHICKEN WIRE FENCE	PWF	POST & WIRE FENCE
IRF	IRON RAILING FENCE	TR	TRELLIS

TREE TYPES

AA	ACACIA	EM	ELM	PE	PINE
AH	ASH	FR	FIR	PO	POLLARDED
AL	ALDER	HB	HORNBEAM	PR	POPLAR
AS	ASPEN	HC	HORSE CHESTNUT	RW	ROWNTOD
AP	APPLE	HH	HAWTHORN	SB	SILVER BIRCH
BE	BEECH	HY	HOLLY	SC	SWEET CHESTNUT
BR	BIRCH	LA	LARCH	SU	SPRUCE
CE	CHERRY	LC	LIME	SY	SYCAMORE
CO	CONIFER	LH	LONDON PLANE	WB	WHITEBEAM
CR	CEDAR	ME	MAPLE	WT	WALNUT
CY	CYPRESS	OK	OAK	WW	WILLOW
DO	DODO	OR	ORNAMENTAL	YW	YEW
ED	ELDER			XX	UNKNOWN

TYPE HEIGHT/SPREAD/DIAM.
CO 5/4/0.3

BUILDING SURVEY

1235	FLOOR TO CEILING HEIGHT	SP	SPRINKLER
985	FLOOR TO UNDERSIDE OF BEAM OR DOOR HEAD	LG	LIGHTING
F-C 1235 C-H 985	FLOOR TO CILL HEIGHT CILL TO HEAD HEIGHT	LG	
	RADIATOR	Light	STRIP LIGHT
	FIRE ALARM / EXTINGUISHER		POWER SOCKET

LEVELLING NOTES

ALL LEVELS ARE BASED ON ORDNANCE SURVEY DATUM OBTAINED FROM ACTIVE GPS NETWORK "OS NET"

GRID IS BASED ON OS DATUM, OBTAINED FROM ACTIVE GPS NETWORK "OS NET"

ALL KERB LEVELS ARE TAKEN IN CHANNEL.

A SCALE FACTOR OF 1.000000 HAS BEEN APPLIED TO THIS DRAWING

Rev.	Date	Description	By

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CCTV SURVEYS
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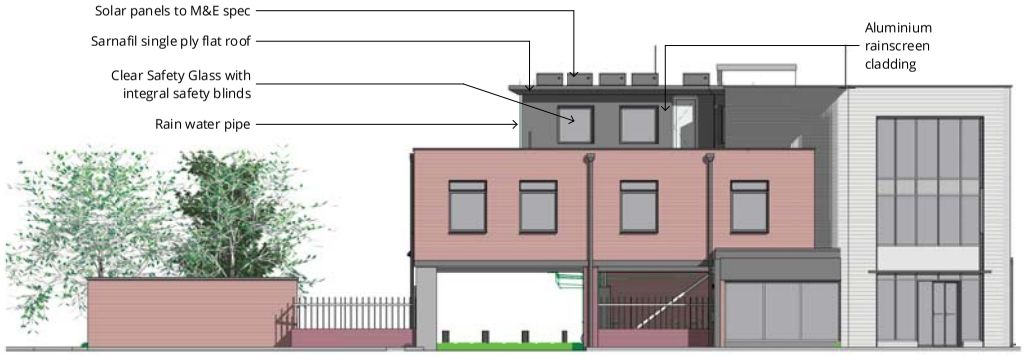
Project title
CHASE SIDE
ENFIELD

Drawing title
STREET SCENES

Client
WESTON ARCHITECTS

Scale 1:100		Drawn by B.V	Sheet size A1
Surveyed by B.V	Checked by NMF	Approved by	Date AUG 2014
Drawing No. SDS 204605.03			Revision A

1 Proposed Front Elevation
1 : 100



2 Proposed Side Elevation
1 : 100

3 Proposed Corner Elevation
1 : 100

4 Proposed Rear Elevation
1 : 100

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GENERAL NOTES

REV	DATE	DESCRIPTION
	19.02.19	MINOR MATERIAL AMENDMENT APPLICATION TO VARY CONDITION 2
A	28.06.19	PLANNING Second floor extension shown with reduced lift overrun and solar panel angles.

PLANNING

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Proposed Elevations

SCALE	DRAWN/CHKD	DATE
1 : 100@A1	SJ	21.11.18

NB: Please refer to drawings 1711-310K & 1711-311I for more details

0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ A1

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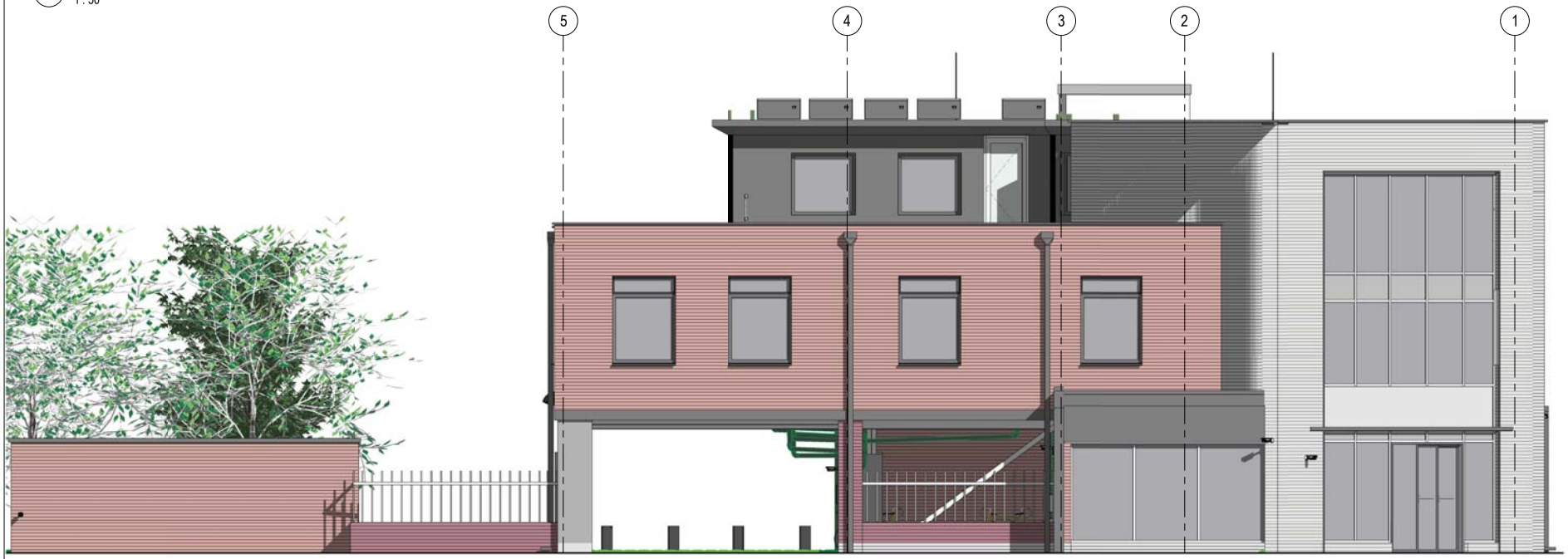
DRAWING No. 1711 - 210
Rev. A

A Proposed Front Elevation
1 : 50



B Proposed Side Elevation
1 : 50

0m 1m 2m 3m 4m 5m
VISUAL SCALE 1:50 @ A1

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GENERAL NOTES

REV	DATE	DESCRIPTION
A	18.09.17	Window heights amended.
B	17.10.17	Lift shaft extended.
C	20.11.17	Glazing notes updated and model tidied up.
D	11.01.18	TENDER ISSUE. Drawings coordinated with Structural, Services and Civil Engineer's drawings and Client comments.
E	09.02.18	Updated to Client and QS comments.
F	29.03.18	PLANNING CONDITIONS DISCHARGE - Layout updated to show pedestrain gate and reduced width sliding gate, cycle rack and external works annotations.
G	09.04.18	PLANNING CONDITIONS DISCHARGE RWPs added and amended to suit roof areas.
H	26.06.18	PLANNING CONDITIONS DISCHARGE UPDATE External sliding gates omitted and replaced with retractable bollards 5m away from highway. Bin store street doors omitted, rear wall within site changed to timber. FF slab detail and insulation type updated and IPS unit spec changed. Vehicle turning circles shown.
I	14.09.18	TENDER ADDENDUM A SEPTEMBER 2018 Amended to suit second floor extension addition. Services coordination with MEP and Structures. Masonry on second floor stairwell omitted.
J	18.02.19	PLANNING UPDATE Boundary wall amended to provide better access for refuse collection as per Condition 26 requirements. Refuse collection route shown and associated landscape updated accordingly.
	19.02.19	MINOR MATERIAL AMENDMENT APPLICATION TO VARY CONDITION 2
K	21.06.19	PLANNING Lift overrun updated and second floor extension shown.

PLANNING

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Proposed Elevations 1 of 2

SCALE	DRAWN/CHKD	DATE
1 : 50@A1	SJ PSW	21.11.18

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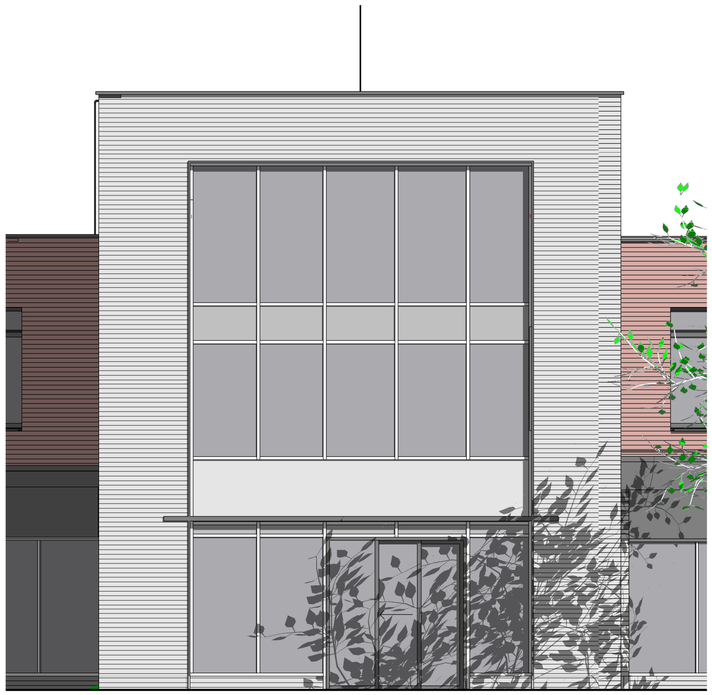
DRAWING No. 1711 - 310
Rev. K

C **Proposed Rear Elevation - 1_50**
1 : 50



D **Proposed Corner Elevation - 1_50**
1 : 50

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GENERAL NOTES

REV	DATE	DESCRIPTION
A	18.09.17	Window heights amended.
B	17.10.17	Lift shaft extended, plant door and windows repositioned, cycles relocated, and structural columns coordinated with structural proposals.
C	20.11.17	Glazing notes updated and model tidied up.
D	11.01.18	TENDER ISSUE. Drawings coordinated with Structural, Services and Civil Engineer's drawings and Client comments.
E	29.03.18	PLANNING CONDITIONS DISCHARGE
F	09.04.18	PLANNING CONDITIONS DISCHARGE RWPs added and amended to suit roof areas.
G	26.06.18	PLANNING CONDITIONS DISCHARGE UPDATE External sliding gates omitted and replaced with retractable bollards 5m away from highway. Bin store street doors omitted, rear wall within site changed to timber, FF slab detail and insulation type updated and IPS unit spec changed. Vehicle turning circles shown.
H	14.09.18	TENDER ADDENDUM A SEPTEMBER 2018 Amended to suit second floor extension addition. Services coordination with MEP and Structures. Masonry on second floor stairwell omitted.
	19.02.19	MINOR MATERIAL AMENDMENT APPLICATION TO VARY CONDITION 2
I	21.06.19	PLANNING Lift overrun updated and second floor extension shown.

0m 1m 2m 3m 4m 5m

VISUAL SCALE 1:50 @ A1

PLANNING

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Proposed Elevations 2 of 2

SCALE	DRAWN/CHKD	DATE
1 : 50@A1	SJ PSW	21.11.18

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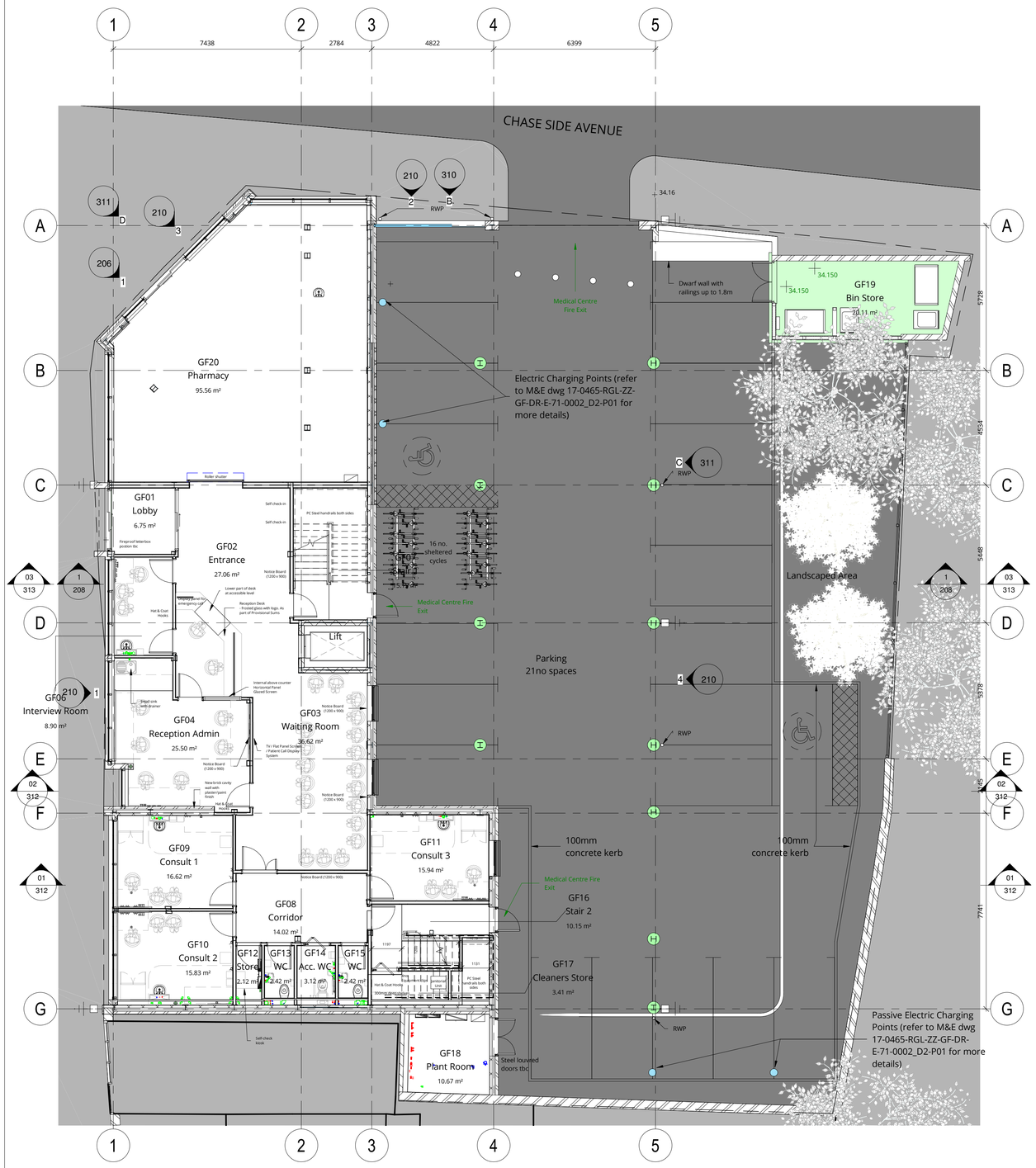
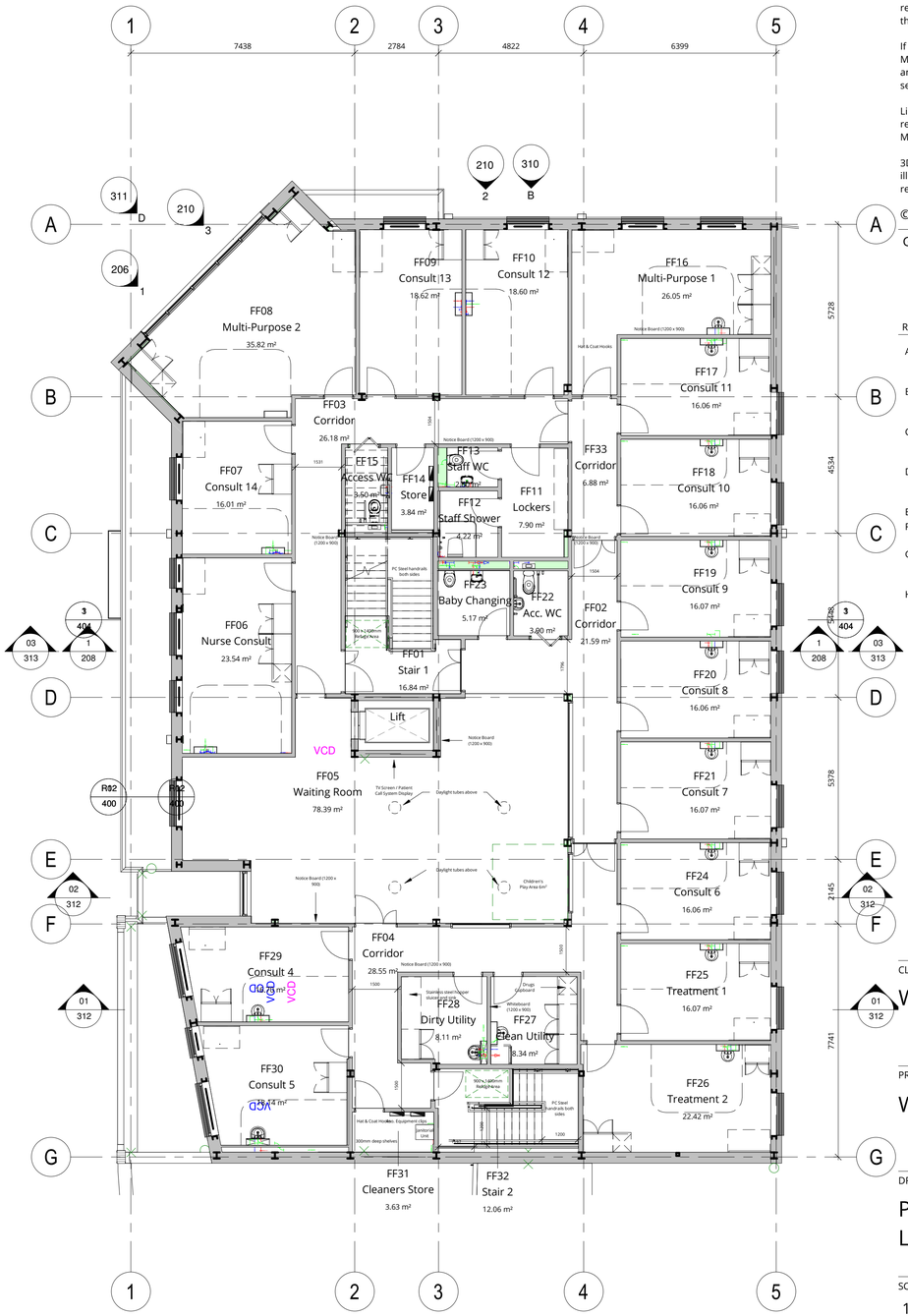
DRAWING No. 1711 - 311
Rev. I



G Proposed Ground Floor (inc Parking)
1 : 100



1 Proposed First Floor
1 : 100

In order to to comply with the Planning Conditions (20%) and The London Plan (1in5), the *Chargemaster plc F7e floor mounted dual socketed 7kW EV charge point* has been specified. This product enables 2no. vehicles to be charged from a single point.

With 21no. spaces, this would mean providing sufficient charging points for 4no. electric vehicles. Therefore we have provided 2no. electronic charging units and a further 2no. passive EVs.

To be read in conjunction with drawing *17-0465-RGL-ZZ-GF-DR-E-71-0002_D2-P01*.

0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ A1

North

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GENERAL NOTES

REV	DATE	DESCRIPTION
A	18.09.17	Room numbers, office layouts and external levels updated. Cycle store relocated. Pharmacy ramp/steps omitted.
B	17.10.17	Coordinated with structural proposal, cycle store relocated, reception desk reduced and detail labels added.
C	09.11.17	Updated to suit client comments and incorporation of structure, services and civil proposals.
D	11.01.18	TENDER ISSUE. Drawings coordinated with Structural, Services and Civil Engineer's drawings and Client comments.
E	09.02.18	Updated to Client and QS comments.
F	19.02.19	MINOR MATERIAL AMENDMENT APPLICATION TO VARY CONDITION 2
G	21.06.19	PLANNING Conversion of admin into treatment and consulting rooms in lieu of second floor extension.
H	14.08.19	PLANNING Passive EV points added to parking bays on GL-G and crossover width reduced to 4.8m.

RIBA 5 - CONSTRUCTION

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Proposed Ground & First Floor Layouts

SCALE	DRAWN/CHKD	DATE
1 : 100@A1	SJ	21.11.18

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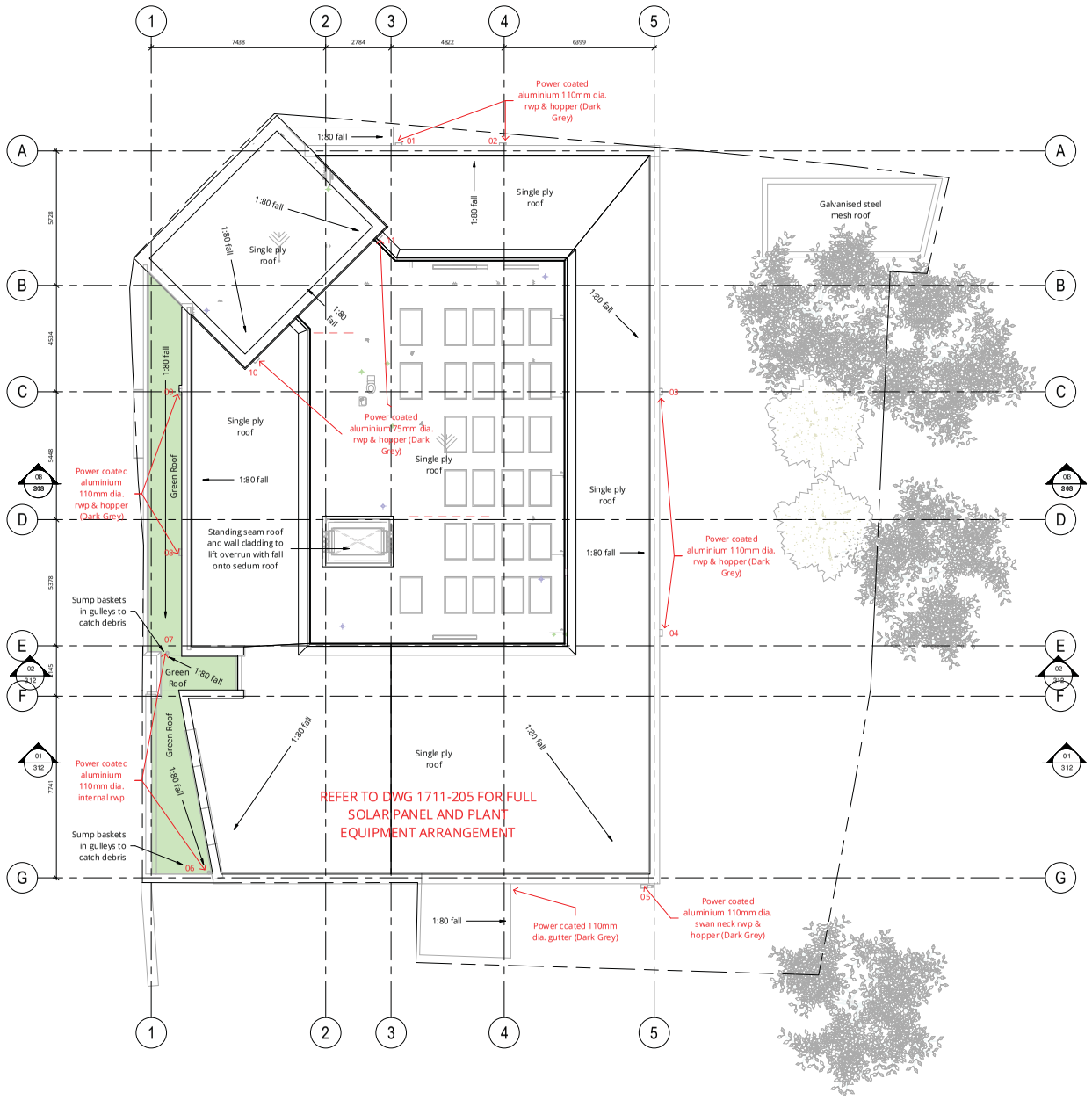
DRAWING No. 1711-MEB-201
Rev. H



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GENERAL NOTES

REV	DATE	DESCRIPTION
	09.04.18	PLANNING CONDITIONS DISCHARGE
A	26.03.19	MINOR MATERIAL AMENDMENT APPLICATION - variation of condition of second floor extension. Position of solar panels and roof mounted plant equipment shown.
B	21.06.19	PLANNING Lift overrun updated and second floor extension shown.

PLANNING

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Proposed Roof Drainage Plan

SCALE	DRAWN/CHKD	DATE
1 : 100@A1	SJ PW	21.11.18

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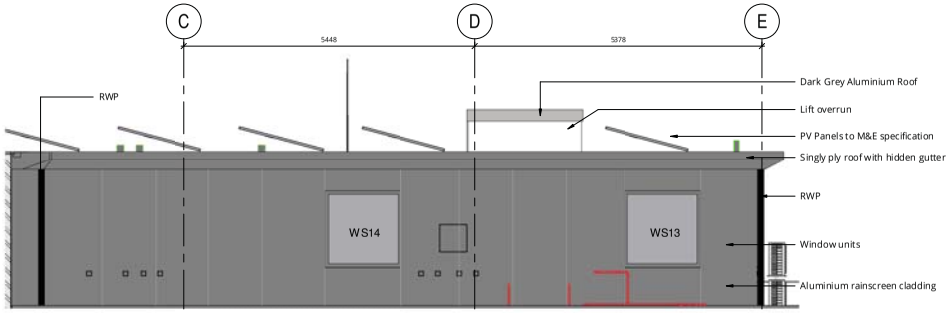
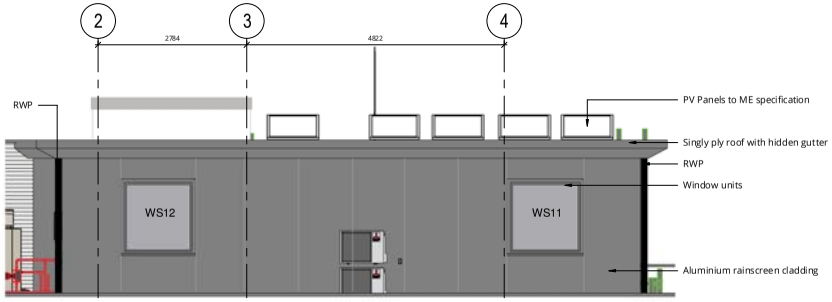
0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ A1

North

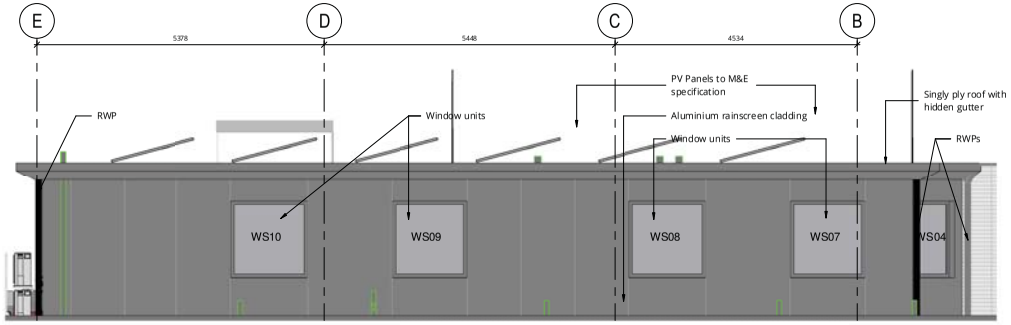
DRAWING No. 1711 - 384
Rev. B



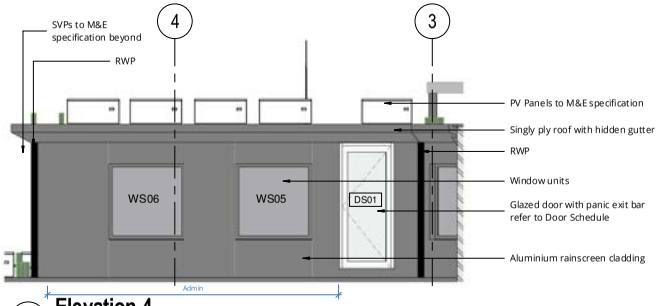
1 Elevation 1
1 : 50



2 Elevation 2
1 : 50

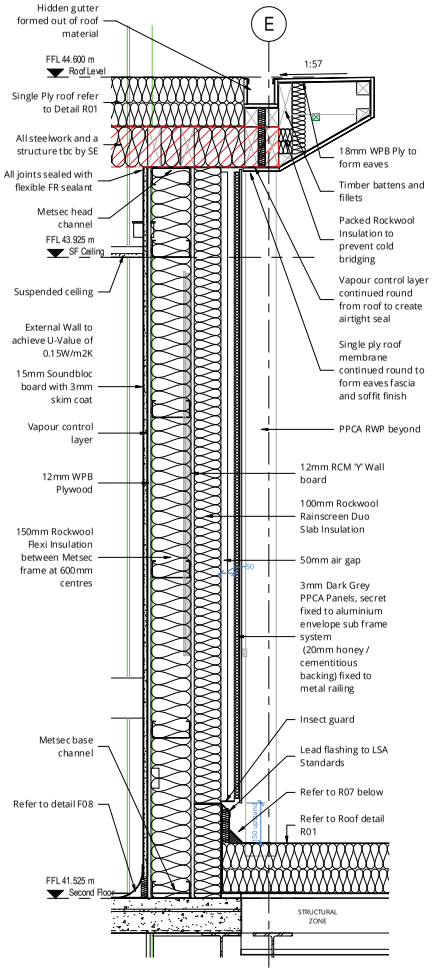


3 Elevation 3
1 : 50

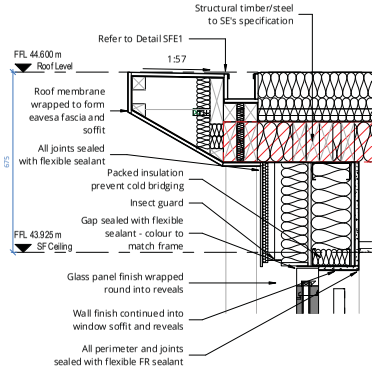


4 Elevation 4
1 : 50

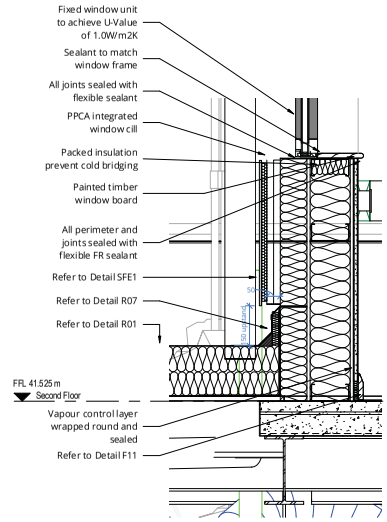
NB: STRUCTURAL FRAME TBC BY STRUCTURAL ENGINEER / SUBCONTRACTOR



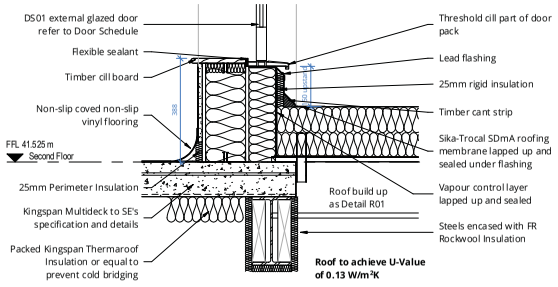
SFE1 Detail Section
1 : 10



SFE2 Window Head Detail
1 : 10



SFE3 Window Cill Detail
1 : 10



R07 Threshold Detail - Second Floor Lobby
1 : 10

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GENERAL NOTES

REV	DATE	DESCRIPTION
	14.09.18	TENDER ADDENDUM A SEPTEMBER 2018
A	12.11.18	TENDER ADDENDUM B NOVEMBER Rainscreen cladding reference amended to VE.
B	28.06.19	PLANNING Lift overrun and solar panel angles reduced.

PLANNING

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Proposed Second Floor Extension Details

SCALE	DRAWN/CHKD	DATE
As indicated@A1	SJ	21.11.18

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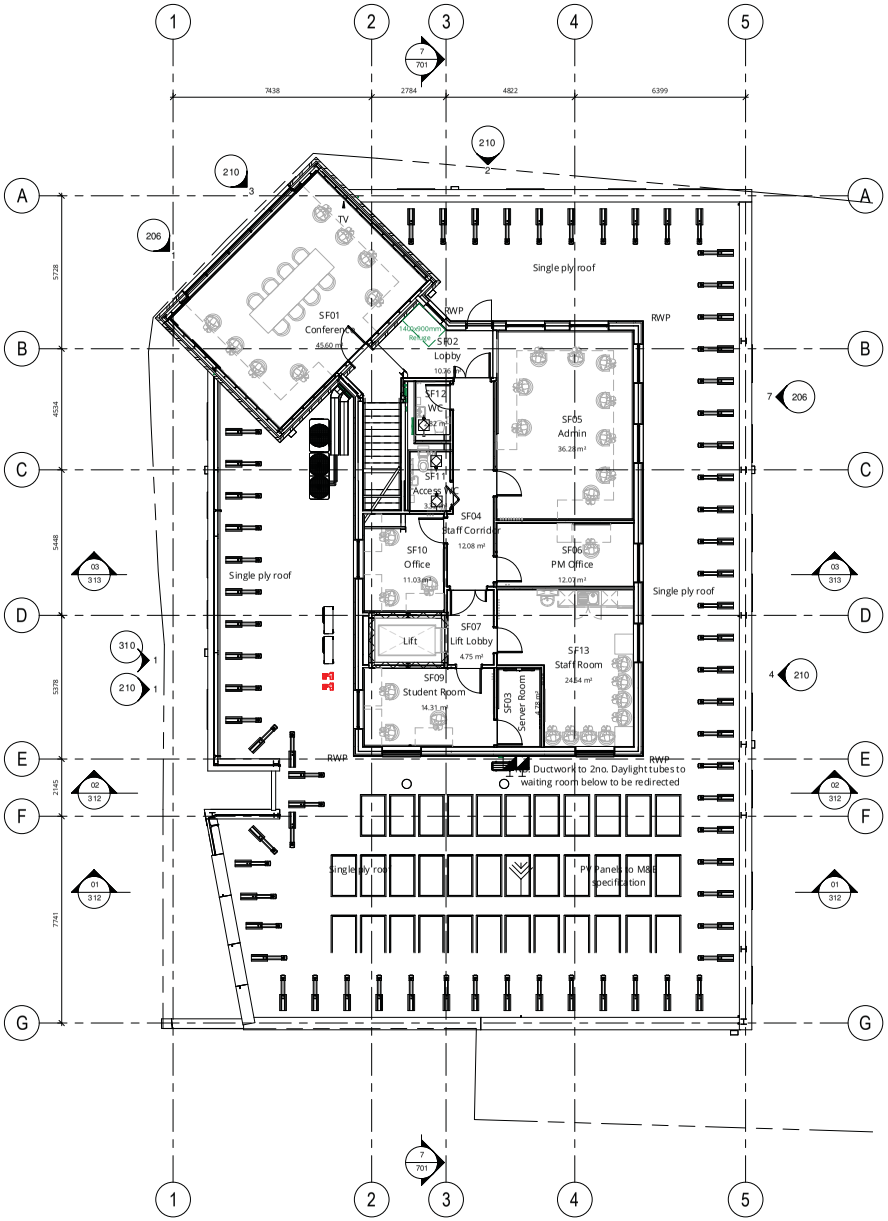
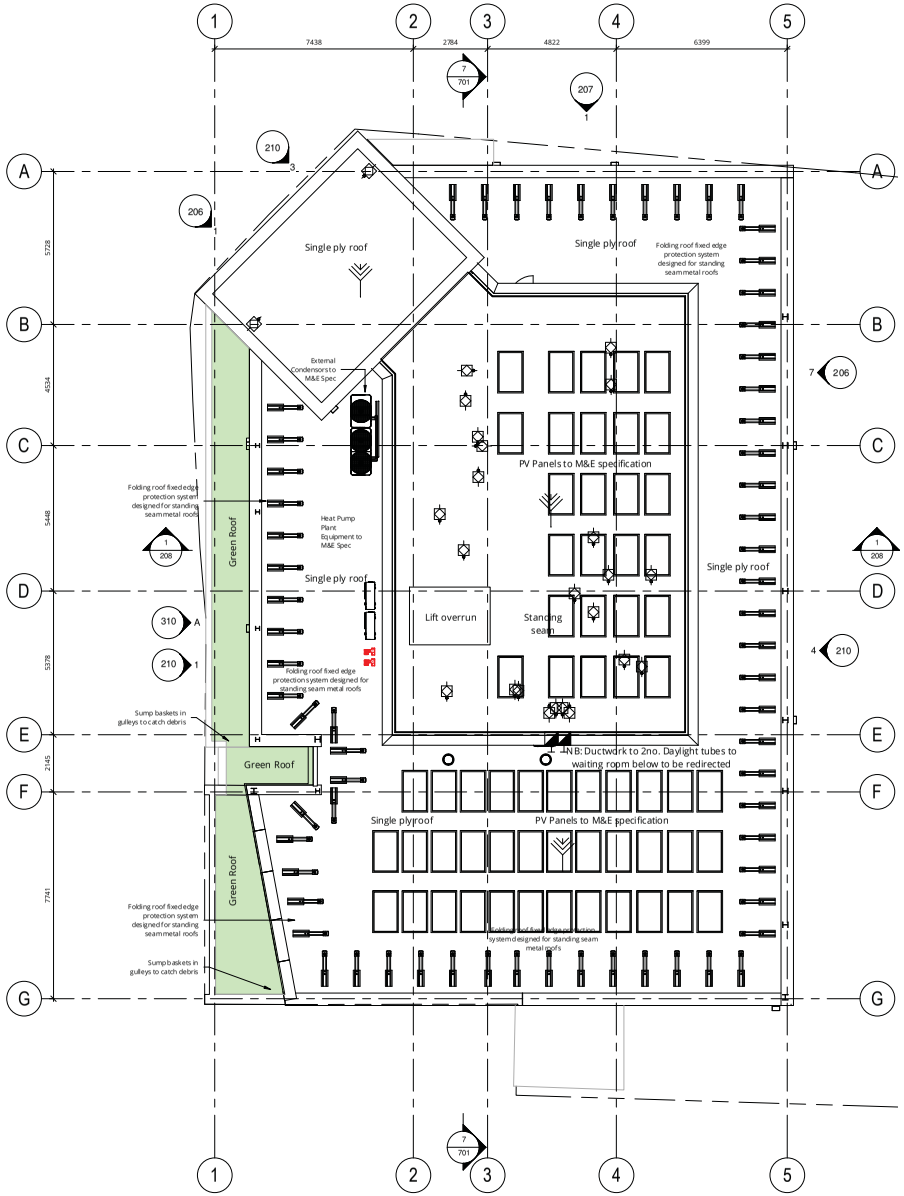
DRAWING No. 1711 - 411
Rev. B



Proposed Second Floor
1 : 100



Proposed Roof Level
1 : 100

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GENERAL NOTES

REV	DATE	DESCRIPTION
	12.04.18	DRAFT ISSUE For Comments
A	20.04.18	Revised to suit Client and Approved Inspector's comments.
	27.04.18	PLANNING ISSUE
B	26.03.19	MINOR MATERIAL AMENDMENT APPLICATION - variation of condition of second floor extension. Position of solar panels and roof mounted plant equipment shown.

PLANNING

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Proposed Second Floor Extension

SCALE	DRAWN/CHKD	DATE
1 : 100@A1	SJ PW	21.11.18

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0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ A1

North

DRAWING No. 1711 - 205
Rev. B

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GENERAL NOTES

REV	DATE	DESCRIPTION
A	21.11.18	Second Floor Extension cladding material changed from glass to aluminium finish.
B	21.06.19	PLANNING Lift overrun, solar panels and Church spire updated/shown.

Street Scene - East
1 : 200

Street Scene - South
1 : 200

PLANNING

CLIENT
White Lodge Medical Practice

PROJECT TITLE
White Lodge Medical Practice

DRAWING TITLE
Proposed Street Scenes

SCALE	DRAWN/CHKD	DATE
1 : 200@A1	SJ PW	21.11.18

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0m 2m 4m 6m 8m 10m
VISUAL SCALE 1:100 @ A1

DRAWING No. 1711 - 207
Rev. B

LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE	**Date:** 27th August 2019

Report of Head of Planning	**Contact Officer:** Andy Higham David Gittens James Clark	**Ward:** Highlands

Ref: 18/03845/FUL	**Category**: Full Application

LOCATION: No 20, 22, 24 And 26 Drapers Road, Enfield, EN2 8LU

PROPOSAL: Partial demolition of No 20 Drapers Road in association with the sub-division of rear gardens assigned to dwellings 20, 22, 24 and 26 to facilitate the erection of 5 x 3-bed townhouses with private amenity space, on-site parking and new formal access to Draper Road.

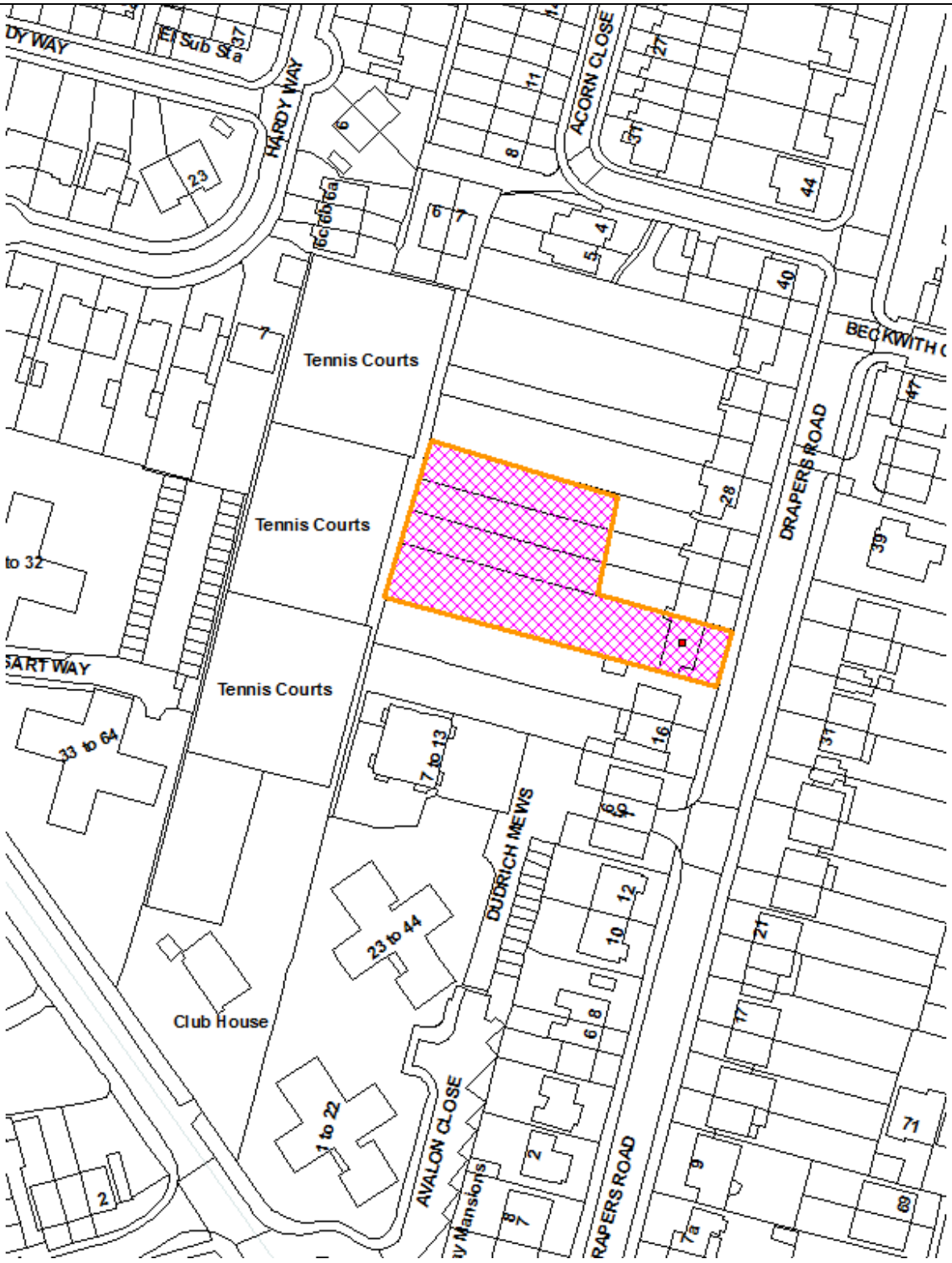
Applicant Name & Address: Mr Gary Wood Hobbs Developments Ltd Aston House Cornwall Avenue London N3 1LF wood1develop@yahoo.co.uk	**Agent Name & Address**: Mr Paul Samson Paul Samson Chartered Surveyors Glasgow Stud Farm Burnt Farm Ride Enfield EN2 9DY plansam@plansam.co.uk

RECOMMENDATION: That subject to the completion of a S106 Agreement to secure the obligations as set out in 7.59 of this report, the Head of Development Management /the Planning Decisions Manager be authorised to **GRANT** planning permission subject to planning conditions.

Note for Members:

The planning application would fall within the Enfield planning delegated powers schedule. In this instance the planning application has been brought on behalf of a member of staff responsible to the Assistant Director of the Council, therefore shall be determined by the planning Committee.

Ref: 18/03845/FUL **LOCATION: 20, 22, 24 And 26 Drapers Road, Enfield, EN2 8LU,**



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Scale 1:1250

North

1.0 Executive Summary:

1.1 The proposed planning application is referred to Planning committee on account of the submission being brought on behalf of a member of staff responsible to the Assistant Director of the Council, therefore shall be determined by the planning Committee under the adopted Enfield scheme of delegation (adopted 17th October 2017) as per exceptions to the delegated authority under Appendix 1, part 8 as per below,

"Applications submitted by or on behalf of a Councillor (or their spouse/partner) or by any member of staff (or their spouse/partner) responsible to the Assistant Director (Regeneration & Planning) of this Council. Private applications made by or on behalf of a Director, the Assistant Director (Regeneration & Planning) and the Chief Executive of this Council and their respective spouses/partners; or other members of staff who regularly attend Planning Committee".

1.2 The proposed development seeks planning approval to subdivide the rear portions of gardens serving No 20, 22, 24 and 26 Draper Road and erection 5 x 3 bedroom two storey dwellings formed in a terrace with habitable accommodation on three floors. Access to the proposed site from Draper Road would be created via the demolition of the single storey side attached garage at No 20 Draper Road. The new access to Draper Road would be subject to the widening of the existing drop kerb from the site to Draper Road and the insertion of additional double yellow lines on derby Road to limit on-street parking provision.

1.3 The proposed development is subject to a s106 legal agreement pertaining to the provision of obligations related to the TMO (Traffic Management Order) and TRO (Traffic regulation Order) affecting Draper Road.

2.0 Site and Surroundings:

2.1 The subject site is located mid-way down the road located on the west side of Draper Road. Draper Road is formed of a mix of architectural

designs of properties including rows of houses circa 1920-1930s semi-detached and terraced dwellings. Flatted developed is present on the street representing more contemporary development on both west and east sides of the street. The application properties of No 20, 22, 24, 26 form part of a terrace with No 20 and No 26 Draper road representing the end of terrace dwellings with No 20 demolishing its single storey side attached vehicle garage and the single storey rear projection, as part of the proposed development.

2.2 The wider location and built form is formed of properties with short gardens and development to the rear, as present on Acorn Close leading off Draper Road between properties No 40 and No 42 Draper Road. The west of the site is formed of six (6) tennis courts. The proposed development site would form a rectangular shape behind the dwellings fronting Draper Road with access via a 5m-6m width channel leading from Draper Road. The proposed site is currently garden land ancillary to the C3 use of the dwellings with some mature trees located on site.

2.3 The site is not within a Conservation Area and nor are do any of the donor dwellings of No 20, 22, 24 and 26 Draper Road listed buildings. There are no listed buildings in close proximity to the site. The site has a PTAL Level

2, representing an average/poor access to public transport. Permit parking is not in operation on Draper Road but a permit-controlled area starts at the end of the road at the junction with Holtwhites Hill. Double yellow lines are present on entrances to the flatted developments on Draper Road.

Proposed Entrance to site:

3.0 Proposal:

3.1 The proposal seeks planning permission for partial demolition of No 20 Drapers Road in association with the sub-division of rear gardens assigned to dwellings No 20, No 22, No 24 and No 26 to facilitate the erection of 5 x 3-bed townhouses with private amenity space, on-site parking and new formal access to Draper Road.

3.2 The proposed five dwellings would form a terrace with each dwelling containing habitable floorspace over all three floors, cumulatively providing approximately 123m² of floorspace. The dwellings would have mansard roof forms and gardens projecting approximately 14m in depth to the boundary of the site. Ten (10) on site car parking spaces would be provided with one space located on the frontage of each dwelling and five located on a designated row opposite the houses including 2no spaces able to facilitate disabled parking bays.

3.3 Access to the backland site would be provided following the demolition of the existing single storey garage and rear addition serving and attached to No 20 Draper Road respectively. The existing crossover access to the site of No 20 Draper Road would be widened as part of the development alongside the addition of double yellow lines to permit access via council refuse vehicles, larger commercial delivery vehicles and emergency services. The financial obligations associated with the TMO and TRO required to provide the double yellow lines would form the contents of the s106 legal agreement.

3.4 Changes to the original scheme included:

- Removal of the dormer windows on the mansard roof facing the properties (donor) on Draper Road.
- Formation of segregated footpath between Draper Road and the site
- provision of a dedicated refuse storage at the end of the footpath.
- Agreement to Under take TRO and TMO to create extended yellow lines and enlarged/widened access to the backland site.
- Reduction in the number of bedrooms within each dwelling to 3 x bed opposed to 4 x bed
Re-location of cycle storage

3.5 Further information is provided later in the report pertaining to the amendments agreed on site.

4.0 Relevant Planning History:

<u>No 20 Draper Road</u>

4.1 Reference - 14/02591/HOU
Development Description - Single Storey rear extension.
Decision Level – Delegated
Decision Date – Granted 20/08/2014

4.2 Reference - TP/01/0453
Development description - Two Storey side, single storey rear extension

Decision Level – Delegated
Decision Date – Granted 17/05/2001

No 24 Draper Road

4.3 Reference - TP/09/1396
Development Description – Single storey rear extension
Decision Level – Delegated
Decision Date – 13/11/2009

Enforcement History

4.4 No enforcement history exists on site

5.0 Consultation:

5.1 *Neighbours:* 73 surrounding properties (21 days expired 8th November 2018) were notified by letter on the 15th October 2018. Following revisions to the proposed landscape, access and elevational/floor plans of the five dwellings, neighbours were re-notified by letter on the 14th of December 2018. A formal 21day consultation period was permitted for neighbouring consultees to reply. At the time of writing the report, four objects were received by the Council which are summarised below,

- Close to adjoining properties
- Development too high
- General Dislike of proposal
- Inadequate access
- Increased traffic
- More open space needed on development
- Strain on existing community facilities
- Over development
- Out of keeping with character of area
- Loss of privacy

Officer Comments

5.2 The concerns raised by neighbouring properties shall be covered in the report however the principle concerns are related to privacy parking and access issues. It is noted one objection quoted the front facing top floor windows would overlook the rear gardens. In direct relation to this comment the principal elevation of the houses would be approximately 38.5m from the rear elevations of No 20-26 Draper Road and even further from properties on either side of the development site. Nevertheless, the front mansard windows have been removed as part of the revised design to reduce privacy concerns.

5.3 In relation to boundary fencing and access to the site the concerns shall be addressed in detailed information required at pre-commencement planning condition stage and via the obligations within the s106 legal agreement.

5.4 Statutory and Non-Statutory Consultees:

Internal Consultations:

5.4.1 Transportation & Transport – The provision of parking spaces and secure cycle storage is acceptable. Transport and highways conditions shall be applied. The client will be required to undertake a TMO and TRO with the Highway Authority as part of a s106 legal agreement to secure the works to the access to the site. (refer to the transport section for further detailed information)

5.4.2 SUDs – The inclusion of permeable and other water retention controls on site alongside the submitted document and plan reference (Proposed Site SUDS Plan (Ref 2087 15 Rev b)) are considered acceptable and meet requirements for satisfactory SUDs drainage on site. The inclusion of water gardens on site are considered to provide an acceptable level of drainage on the site (please see the submitted drainage section for further information). Conditions shall be applied to the scheme to clarify certain elements of the development.

5.3.3 Tree officer – No objections to the loss and re-provision of trees on site subject to a robust landscape condition.

5.3.4 Environmental Health – No Objection to the development, pre-commencement planning conditions to be applied to the site to prevent harm.

External Consultations:

5.3.5 Thames Water – No response

Officer comments

The consultation responses have directed and facilitated the changes to the development and applicable conditions have been added to secure policy compliant development to mitigate harm to neighbouring amenity levels.

6.0 Relevant Planning Policies:

6.1 London Plan (2016)

3.3 Increasing housing supply
3.4 Optimising Housing potential
3.5 Quality and design of housing developments
3.8 Housing choice
3.9 Mixed and Balanced Communities
3.11 Affordable housing targets
3.12 Negotiating affordable housing on individual private residential and mixed use schemes
3.14 Existing Housing Stock
5.1 Climate change mitigation
5.2 Minimising carbon dioxide emissions
5.3 Sustainable design and construction

5.7 Renewable energy
5.13 Sustainable Drainage
5.14 Water Quality and Wastewater Infrastructure
5.15 Water Use and Supplies
5.16 Waste Self Sufficiency
6.9 Cycling
6.10 Walking
6.13 Parking
7.1 Lifetime Neighbourhoods
7.3 Designing out Crime
7.4 Local Character
7.6 Architecture
7.19 Biodiversity and access to nature
7.21 Trees and Woodland
8.2 Planning Obligations
8.3 Community Infrastructure Levy

6.2 Core Strategy (2010)

CP2: Housing supply and locations for new homes
CP3: Affordable housing
CP4: Housing quality
CP5: Housing types
CP20: Sustainable energy use and energy infrastructure
CP21: Delivering sustainable water supply, drainage and sewerage infrastructure
CP22: Delivering sustainable waste management
CP25: Pedestrians and cyclists
CP30: Maintaining and improving the quality of the built and open environment
CP32: Pollution
CP46: Infrastructure contributions

6.3 Development Management Document (2014)

DMD3: Providing a Mix of Different Sized Homes
DMD6: Residential Character
DMD7: Development of Garden Land
DMD8: General Standards for New Residential Development
DMD9: Amenity Space
DMD10: Distancing
DMD37: Achieving High Quality and Design-Led Development
DMD45: Parking Standards
DMD46: Vehicle Crossovers and Dropped Kerbs
DMD47: Access, New Roads and servicing
DMD49: Sustainable Design and Construction Statements
DMD51: Energy Efficiency Standards
DMD58: Water Efficiency
DMD61: Managing Surface Water
DMD68: Noise
DMD78: Nature
DMD80: Trees on Development Sites
DMD81: Landscaping
DMD Appendix 7 - London Plan parking and Cycle standards
DMD Appendix 8 - Parking standards (parking dimensions)
DMD Appendix 9 - Road classifications

6.4 Other Policy
National Planning Policy Framework (2019)
National Planning Practice Guidance
Mayor of London Housing SPG (March 2016)
Enfield Strategic Housing Market Assessment Update (2015)
Community Infrastructure Levy Regulations 2010

7.0 Analysis:

7.1 This report sets out the analysis of the issues that arise from the proposal assessed against National, Regional and adopted strategic and local planning policies. The originally submitted plans have been amended and modified as per below.

Amendments to original plans

7.2 Following discussions between the applicant and the Council the following amendments have been submitted and considered within the scope of the originally submitted planning application and the Council has re-notified neighbouring properties for further comment.

Changes to the original scheme included:

- Removal of the dormer windows on the mansard roof facing the properties (donor) on Draper Road.
- Formation of segregated footpath between Draper Road and the site
- Provision of a dedicated refuse storage site at the end of the footpath.
- Agreement to enter into a TRO and TMO to permit extended yellow lines in order to allow safe access from Draper Road to the access channel via the enlargement/widening of access to the backland site.
- Reduction in the number of bedrooms within each dwelling to 3 x bed opposed to 4 x bed

The proposed changes to the initial scheme are considered to provide suitable and appropriate access for all vehicles and satisfactory privacy levels for future occupier and surrounding neighbouring residents.

7.3 The main issues are considered as follows:

- Principle of development
- Density of Development
- Design and appearance
- Dwelling Mix
- Standard of accommodation
- Impact on neighbouring amenity
- Traffic and transport implications
- Sustainable drainage
- Energy & security
- Other matters (affordable housing)

Principle of Development:

7.4 The principle of new residential development on the site is acceptable meeting the strategic housing needs of Greater London and increasing the housing stock of the Borough in accordance with the National Planning Policy Framework (NPPF) and the Policy CP5 of the Enfield Core Strategy (2010). However, the development must also be judged on its own merits and assessed in relation to material considerations including the impact on the character of the area and the attainment of appropriate scale, design, amenity space, parking provision, residential amenity and privacy, to achieve a development that integrates appropriately into their surroundings.

7.5 The proposed development of the site would result in the subdivision and development of garden land in a predominantly residential location with no designated land constraints. Development of garden land is assessed under planning policy DMD 7 (Development of Garden Land) based on the following criteria below,

a. The development does not harm the character of the area;

b. Increased density is appropriate, taking into account the site context in terms of its location, accessibility and the provision of local infrastructure;

c. The original plot is of a sufficient size to allow for additional dwellings which meet the standards in DMD 8 'General Standards for New Residential Development', (and other design policies);

d. The individual plot sizes, orientation and layout created are appropriate to, and would not adversely impact on the residential amenity within the development, or the existing pattern of development in that locality;

e. An adequate amount of garden space is retained within both of the individual plots in accordance with the minimum amenity space standards (DMD 9 'Amenity Space'), and the role of each space is enhanced to contribute towards other plan objectives such as biodiversity; green

corridors and networks; flood risk; climate change; local context and character; and play space; and

f. The proposals would provide appropriate access to the public highway.

7.6 The criteria permitting development of garden land are directly interlinked to other aspects of the assessment within the committee report, including but not limited to, design and access aspects of development. The development site is considered to meet the principle requirements outlined in Policy DMD 7 parts (a) – (e) and therefore considered appropriate and in accordance with planning policy.

Dwelling Mix:

7.7 Policy 3.8 of the London Plan 2016 and Policy CP5 of the Core Strategy (2010) seeks to ensure that new developments offer a range of housing sizes to meet housing needs. The proposal would be in accordance with these policies in addition to Policy 3.3 of the London Plan and Policy CP2 of the Core Strategy, insofar as it would maintain the Borough's housing stock.

7.8 The proposed scheme provides 5 x 3 bedroom dwellinghouses on site, such residential units are in high demand in the borough and would go towards meeting the borough housing stock mix targets. The proposed dwelling mix is therefore acceptable.

<u>Impact of the development on the character of the location</u>

Character and urban grain

7.9 The London Plan (2016) policy 7.6B states that all development proposals should be of the highest architectural quality, which complement the local architectural character and be of an appropriate proportion, composition, scale and orientation. Policy CP30 of the Core Strategy requires new development to be of a high-quality design and in keeping with the

character of the surrounding area. This is echoed in Policy DMD8 which seeks to ensure that development is high quality, sustainable and has regard for and enhances local character. As stated in para 7.6 policies pertaining to design and character must be read in conjunction with policy DMD 7.

7.9 The location is formed of terraced properties on the west side of Draper Road, semi-detached on the east side and flatted sites resulting from more contemporary redevelopment. The fore-mentioned property types provide a strong building line and frontage to Draper road. The location is also characterised by a number of more contemporary flatted and historic backland development as per the photograph below. The proposed backland/garden development would not be out of keeping or uncharacteristic of the progression of development in the location. Therefore in isolation the principle character impacts of the proposed development would not be at odds with the wider pattern and urban grain to the rear of draper road. Therefore parts (a) and (b) of Policy DMD 7 would be accorded with .

a. The development does not harm the character of the area;
b. Increased density is appropriate, taking into account the site context in terms of its location, accessibility and the provision of local infrastructure;

Red square – denotes development site
Blue square – denotes historic backland development

Access to backland development off Draper Road

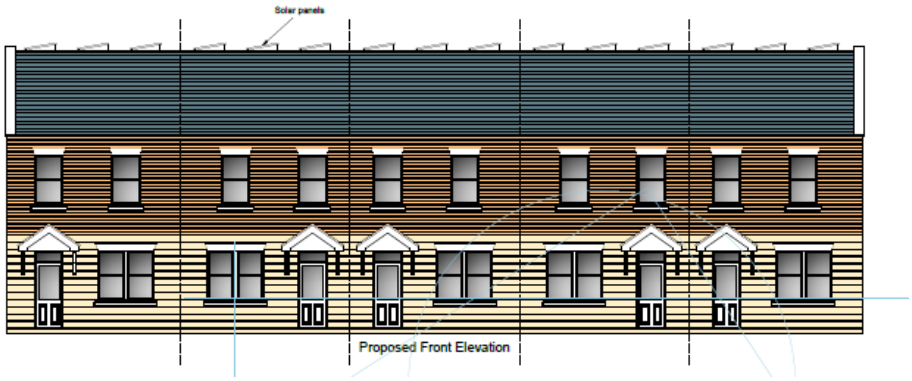
Example backland development

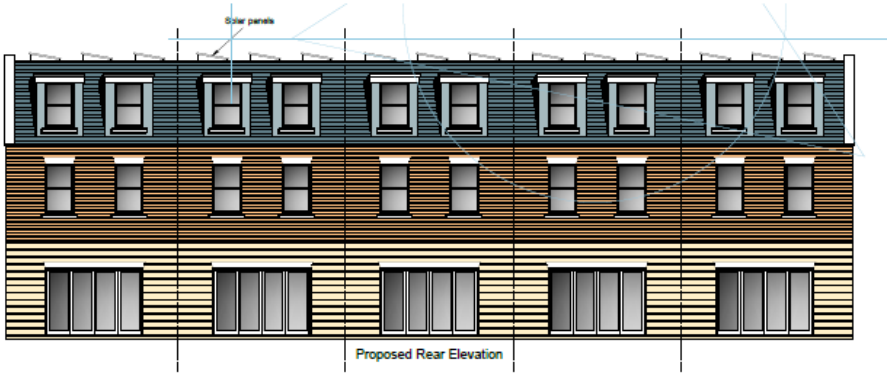
Design and appearance of development

7.10 The proposed five (5) dwellings would form a three storey mansard terrace facing east/west, sitting to the rear of the rear extremes of the garden of No 20-26 Draper road. Each dwelling would project approximately 9.1m in depth and 5.4m in width, with 14m deep gardens representing a high quality layout and functional The inclusion of a mansard roof form at second floor level are not generally characteritsic of the location or Enfield in general. The prevailing building typologies in the borough are pitched roofs. Nevertheless, it is important to acknowledge the proposed row of mansard terrace would be unapparent from the street and would only visible in a single static position from Draper south of the proposed new access entry point.

7.11 The NPPF (2019) states in Para 124 (Section 12), good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Para 131 continues states*, "in determining applications, great weight should be given to outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings".*

7.12 The mansard roof dwellings are considered attractive and reflect the form, massing and pattern of openings and features such as porches. The principle elevations have no windows and therefore reduce the perception of height of the dwellings. Traditional dormer windows have been added to the rear mansard elevation which are not visible from public or private views with the exception of the tennis courts to the rear.





7.13 In summary the appearance, massing, scale and openings are policy compliant meeting part (b) of Policy DMD 8 expecting development to "be of an appropriate scale, bulk and massing. The 38 metre separation between the proposed terrace row and donor properties of No 20-26 Draper Road provide a more than adequate distance allowing as distinct variance in the style to be acceptable.

Site layout and access

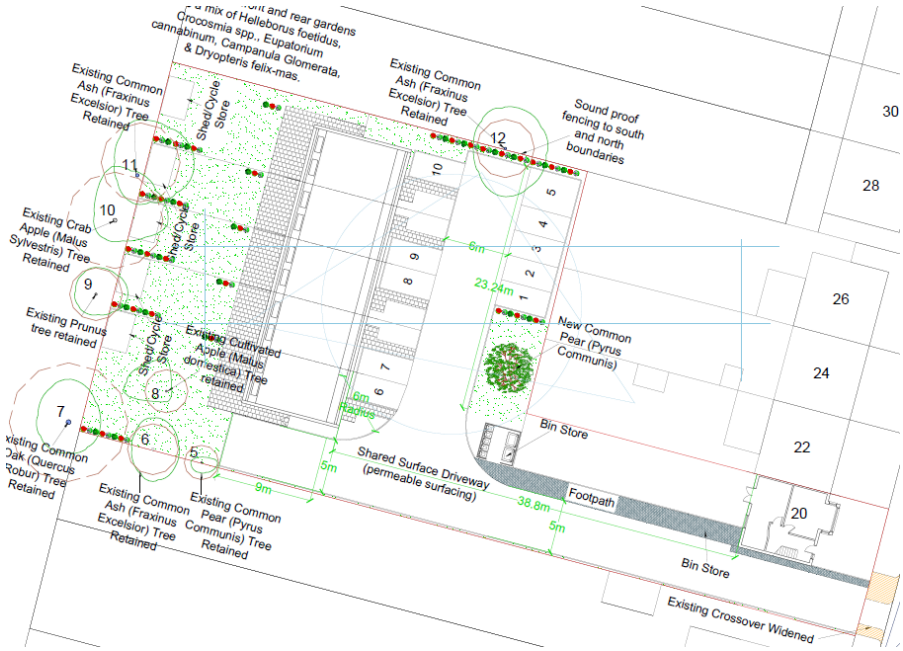
7.14 To facilitate access to the proposed backland site the single storey garage attached to No 20 Draper Road would be demolished and extensions to

the existing crossover undertaken alongside double yellow line extensions on Draper Road (to be discussed in the transport section of the report). The access would provide a road (privately managed) 5m in width creating an inverted “T” access road within the site, incorporating a segregated pedestrian walkway access. The access road would serve five (5) parking spaces located at the rear boundaries of No 24-26 Draper Road and the frontage of the terrace. Appropriate landscaping of the site in accordance with the submitted SUDs strategy would form part of a pre-commencement planning condition. In conclusion, the form and functionality of the access proposed is considered acceptable and would meet part (h) of Policy DMD 8 *“provide adequate access, parking and refuse storage which do not, by reason of design or form, adversely affect the quality of the street scene”.* The development would accord with part (f) of Policy DMD 7 stating “the proposals would provide appropriate access to the public highway”.

7.15 The new access from the Draper Road would create another formal vehicle opening on the street. As fore-mentioned in the report Draper Road has examples of other backland development creating new accesses and therefore the proposed modest access point in this location would not be out of keeping or character with the wider location.

Changes to No 20 Draper Road

7.16 Demolition of the single storey side attached garage and rear extension on No 20 Draper Road would permit the access road to open up the rear gardens for development. The partial demolition of non-original additions to No 20 Draper road would revert the dwellings back to its original built form. No adverse impacts would be caused to the streetscene as a result of the demolition of the functional attached garage. Policy DMD 47 (Access and serving Development) provides further policy context to the principle of new access and shall be assessed later in the report under transport considerations.



Standard of Accommodation

7.17 Policy 3.5 of the London Plan 2016 and Policies DMD 5 and DMD 8 of the Enfield Development Management Document (2014) set minimum internal space standards for residential development. The Nationally Described Internal Space Standard applies to all residential developments within the Borough and the London Plan Housing SPG adopted in 2016 has been updated to reflect the Nationally Described Space Standards.

7.18 In addition to the minimum floorspace requirements, new development is expected to provide well-designed, flexible and functional layouts with adequately sized rooms, 2.5m floor-to-ceiling heights, and 20% glazing to all habitable rooms in accordance with the Mayor's Supplementary Housing Guidance.

Table of proposed floorspace for individual flats:

Flat No	Bed/person	Required Floorspace (m²)	Provided Floorspace (m²)
House 1	3 Bed/5 Person	99m²	123m²
House 2	3 Bed/5 Person	99m²	123m²
House 3	3 Bed/5 Person	99m²	123m²
House 4	3 Bed/5 Person	99m²	123m²
House 5	3 Bed/5 Person	99m²	123m²

7.19 The internal floorspace of each dwelling unit would exceed the minimum National internal floorspace standards and all habitable rooms within the proposed flats would have adequate outlook, provision of natural light and good levels of privacy.

7.20 Each proposed unit would have private amenity space at ground floor. Policy DMD 9 (Amenity space) provides the Council's external amenity space standards. The standards below are for dwelling units with access to communal amenity space.

Flat No	Bed/person	Required Floorspace (m²)	Provided Floorspace (m²)
Flat 1	3 Bed/5 Person	44m²	90m² (Approx)
Flat 2	3 Bed/5 Person	44m²	70m² (Approx)
Flat 3	3 Bed/5 Person	44m²	70m² (Approx)
Flat 4	3 Bed/5 Person	44m²	70m² (Approx)
Flat 5	3 Bed/5 Person	44m²	140m² (Approx)

7.21 Considering each dwelling shall have direct access to private amenity space, the amenity space is not overlooked externally, is functional, safe and significantly beyond the minimum requirement the Council is satisfied the provision of amenity space complies with Policy DMD 9. The overall quality of accommodation within the five (5) units is considered acceptable and complies with Policy 3.5 of the London Plan and Policies DMD 8 and DMD 9 of the Development Management Plan (2014).

7.22 Following the demolition of single storey elements of No Draper Road 20 the internal floorspace would be reduced to approximately 88m² however this quantum is above the minimum 79m² required for a new 1 x 2 bed

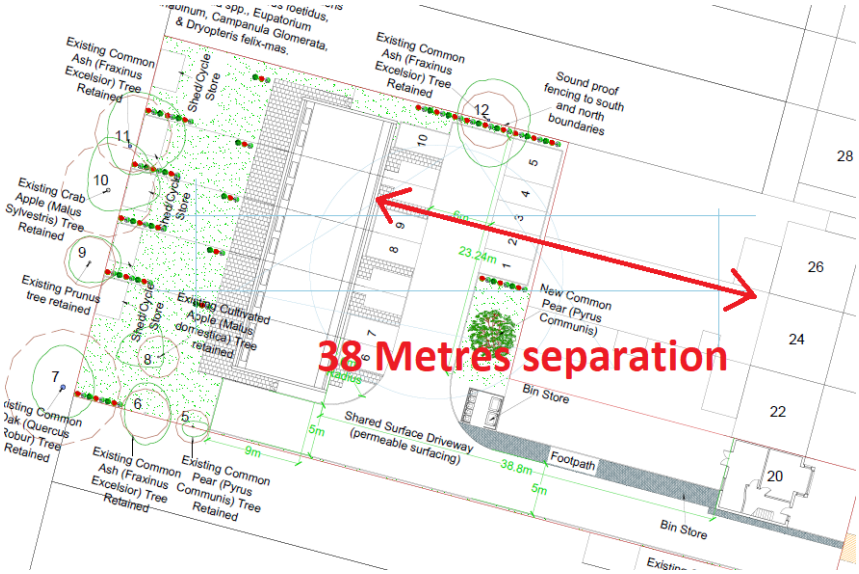
dwelling and the site of No 20 Draper would retain good levels of accommodation.

Impact on neighbouring amenity

7.23 Policy 7.6 of the London Plan states that developments should have appropriate regard to their surroundings, and that they improve the environment in terms of residential amenity. Policy CP30 of the Enfield Core Strategy seeks to ensure that new developments are high quality and design-led, having regards to their context. They should help to deliver Core Strategy policy CP9 in supporting community cohesion by promoting attractive, safe, accessible and inclusive neighbourhoods. Policy DMD8 states that new developments should preserve amenity in terms of daylight, sunlight, outlook, privacy, overlooking, noise and disturbance.

Impact on No 20-26 Draper Road

7.24 The distance between the habitable windows on the proposed row of terraces and the rear elevations of No 20 – 26 would be approximately 38m as illustrated on the plan below. Policy DMD 10 (Distancing) expects new development to maintain a distance of 22m between facing windows at two storey level. The proposed 38m far exceeds the minimum distance and the overlook of the gardens assigned to No 20-26 Draper Road would also be negligible. Each of the dwellings would retain a good size garden approximately 19m in depth by 6m in width, providing approximately 115m². The LPA is satisfied the standard of accommodation would not be harmed by the proposed development.



Impact on No 18 Draper Road

7.25 The LPA does not consider No 18 Draper Road would have any detrimental impacts to its outlook or privacy however the north flank boundary would border the boundary with the access road. The LPA recognise there is the potential for security impacts and therefore it is proposed that a robust boundary condition is applied to the scheme to secure the site and seek confirmation of the secure by design criteria as follows:

"The specific security needs of the site/development shall be submitted to and approved in writing by the Local Planning Authority. The works as agreed shall be fully implemented prior to first occupation of any of the units and thereafter retained and maintained as such for the lifetime of the development".

Impact on No 28 Draper Road

7.26 No 28 Draper Road forms the bookend of the next run of terrace on Draper Road heading northward and would have the same 38m separation distance between the first floor habitable windows with the benefit of the windows not being aligned. Outlook, privacy and overall existing levels of amenity would be preserved following the development.

Impact Tennis courts

7.27 The tennis courts to the rear are designated as open space and as such future development on the tennis courts would be strongly resisted. While unconfirmed the tennis courts are likely to operate until 9.30-10.00pm with floodlights and therefore future conflict should be avoided between the balance of freedom to play and amenities of future occupiers.

Vehicle Parking & Cycle provision

7.28 Policy 6.3 of the London Plan confirms that the impact of development proposals on transport capacity and the transport network are fully assessed. The proposal must comply with policies cycling (Policy 6.9), walking (Policy 6.10), tackling congestion (Policy 6.11) and parking (Policy 6.13). Policies DMD 45 & 47 provide the criteria upon which developments will be assessed with regard to parking standards / layout and access / servicing.

7.29 Policy DMD 45 seeks to minimise car parking and to promote sustainable transport options. The Council recognises that a flexible and balanced approach needs to be adopted to prevent excessive car parking provision while at the same time recognising that low on-site provision sometimes increases pressure on existing streets.

Car parking proposals will be considered against the standards set out in the London Plan and:
a. The scale and nature of the development
b. The public transport accessibility (PTAL) of the site;
c. Existing parking pressures in the locality;

d. Accessibility to local amenities, and the needs of the future occupants of the developments.

7.30 The site has a PTAL level of 2, representing a lower level of public transport. The proposed development provides ten (10) parking spaces for the 5 x 3 bed dwellinghouses, presenting an over provision. The maximum standards for the size of dwellings is 7.5 spaces rounded up to eight (8). Accounting for a visitor space, the site provides in excess of one car parking space above the maximum. In this instance the additional space does not harm the layout or compromise other aspects of the development and is therefore acceptable in this instance.

7.31 Secure cycle parking is provided to the rear of each dwellings designated garden area. The proposed two end of terrace properties have good side access arrangements providing ease of access. The middle three dwellings parking would be accessed through the dwelling. Ideally a designated bike storage unit would be provided on site, nevertheless, the proposed arrangement shall be subject to a pre-occupation condition finalising the final appearance of the secure units.

7.32 The quantum of on-site parking and appropriate access arrangements shall provide acceptable provision of on-site parking to prevent increased demand for vehicle spaces on Draper road meeting the criteria in Policy DMD 45. In line with the London Plan (March 2016), 20% (3 spaces) of the total ten (10) parking spaces shall be provided with active electric vehicle (EV) charging points; with a further 20% (3 spaces) passive EV charging spaces. This level of provision should be distributed across the whole parking area and shall form a pre-commencement planning condition ****.
In addition to the condition above the boundary treatment to the rear of the donor sites No 20-26 shall be designed to prevent noise transmission via sound insulation boarding, secure via a planning condition.

<u>Access and movement within the development site</u>

7.33 Policy DMD 46 seeks to ensure that proposals for new vehicular crossovers do not adversely affect traffic flow and road safety, lead to

increased pressures on on-street parking or affect the character of the area. Policy DMD 47 seeks new access, new roads and serving to be suitable for pedestrians, cyclists and appropriately sited vehicular access and serving configuration whereby there is no adverse impact on highway safety and the free flow of traffic. Policy DMD 47 states:

"New development will only be permitted if the access and road junction which serves the development is appropriately sited and is of an appropriate scale and configuration and there is no adverse impact on highway safety and the free flow of traffic.

New access and servicing arrangements must ensure vehicles can reach the necessary loading, servicing, and parking areas. Layouts must achieve a safe, convenient and fully accessible environment for pedestrians and cyclists.

New development will only be permitted where adequate, safe and functional provision is made for:

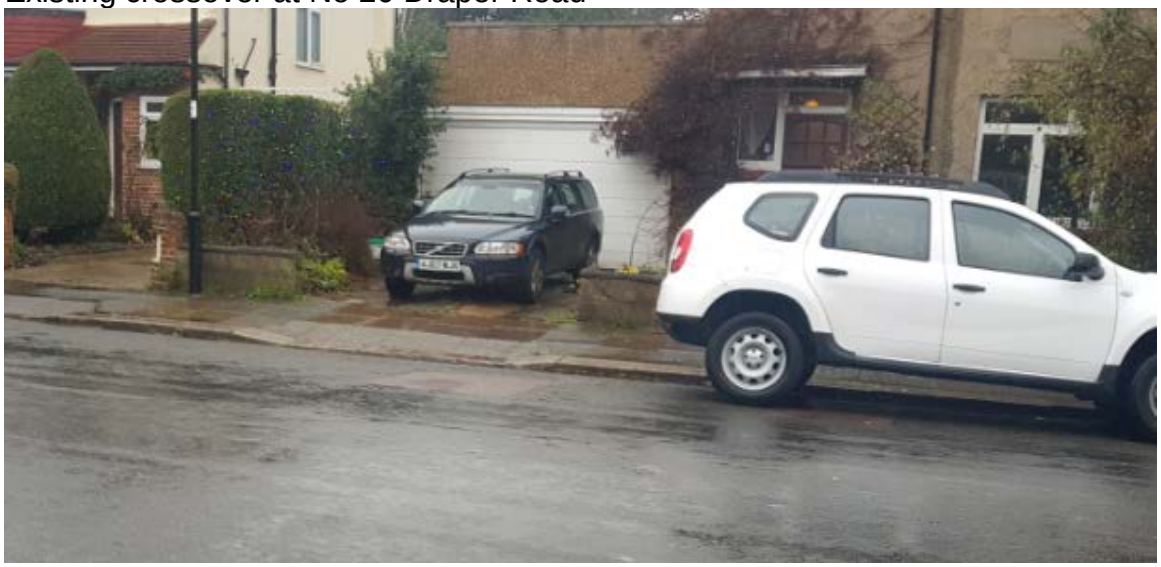
1. Refuse collection (using 11.0m freighters) and any other service, and delivery vehicles required to serve part of the normal functioning of the development; and

2. Emergency services vehicles (following guidance issued by the London Fire Brigade & Building Regulations); and

3. Operational needs for existing residents, visitor and user "drop-off" and "pick-up" areas (e.g. for parents at nurseries and schools) as appropriate to the functioning of the development and the safety and free-flow of traffic.

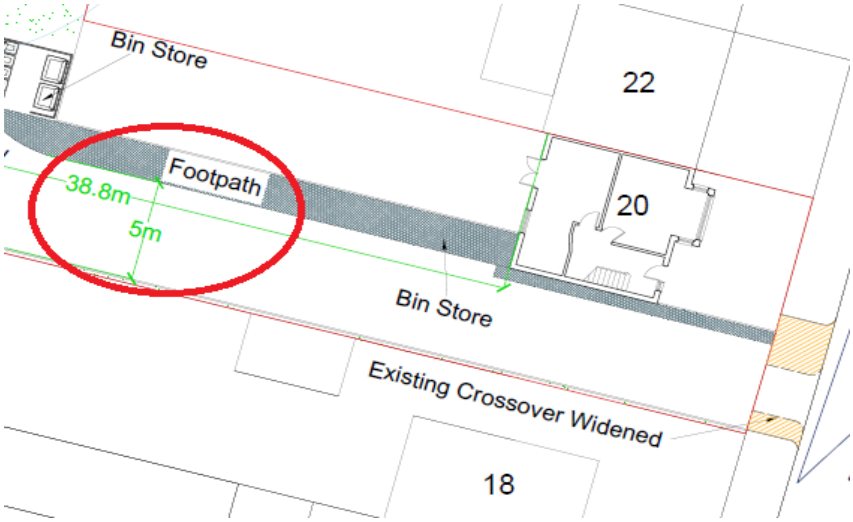
7.34 The site currently has an existing crossover (drop kerb) as per the photo below. As part of the development the existing single storey garage would be demolished and the drop kerb widen to permit both safe access and access for all vehicles such as refuse and emergency vehicles. The wider location is characterised by crossovers and in design and character terms the proposed retention and extension of the crossover is not objected to in this regard in accordance with policy DMD46.

Existing crossover at No 20 Draper Road



7.35 The applicant and the LPA have negotiated an access arrangement whereby the new access into the development site from Draper road permits safe and uninhibited access for refuse vehicles and delivery vehicles alongside maintaining pedestrian and highway safety. The site layout has been designed to allow the safe turning and reserving of the 11m length of the refuse trucks utilised by Enfield Council's refuse management team (swept path plans have been submitted). The layout within the site permits entry and exit in forward gear and allows refuse operatives to collect the waste/refuse directly from a collection point. The access from Draper Road The layout and vehicle movement within the development site is considered policy complaint with parts of Policy DMD 47.

7.36 The newly created access from Draper Road to the backland site shall be formed of a 50m unadopted road, 5m in width with the addition of a segregated 1.2m pedestrian walkway. In order to allow refuse collection, emergency (fire) access and larger delivery truck access to the site, the creation of yellow lines directly adjacent and opposite the development site access to Draper road are required. The location of the double yellow lines are provided on the illustration below for clarification.



7.37 In order to facilitate the enlarged and improved access to the backland site, a s106 legal agreement has been agreed with the applicant obligating the payment of fees and costs associated with the implementation of a TMO (Traffic management Order) and TRO (Traffic Regulation Order). The installation of the yellow lines will require consultation by the Highways Authority with local residents. Subject to and pending the decision of the consultation outcome a TRO shall seek to implement the extension of the yellow lines.

7.38 In association with the creation of double yellow lines at the entrance of the site (pending success of the TMO) a separate application to the Highway Authority via a s278 would be required to create the extended crossover access point. The following condition would be applied to the planning approval alongside the s106 legal agreement.

*"*Prior to commencement of works above or below ground, the applicant will seek with the council to provide extended the double yellow line provision on Draper road to facilitate access to the site for delivery/refuse and other wide load vehicles*".*

7.39 The segregated 1.2m walkway from Draper road to the backland site and 5m (width) vehicular access are both highway and planning policy

compliant. It is acknowledged the proposed footpath is not 1.2m in width in its entirety from Draper road to dwellings sitting however the portion below 1.2m in this instance is considered acceptable with limited harm to future pedestrian access. The 5m width would permit two cars to pass each other at slow speed and the 1.2m would allow safe pedestrian access to the site. In summary the access to the site from Draper Road and internal access and movement within the site meet the requirements within Policy DMD 47 of Development Management Document (2014) and “manual for streets”. The details of the access and parking have been assessed by the councils Highway officer and are considered acceptable subject to suitable and appropriate planning conditions.

Refuse Storage on site

7.40 A central refuse storage unit shall be located at the end of the access road when viewed from Draper Road providing a refuse point for future occupiers. The detailed bin storage details are provided in plan reference 2087-12 Rev b. The central refuse location reduces furniture from the frontage of each site and improves the efficiency of refuse operatives accessing site on account of the central point of collection. A pre-occupation compliance condition shall be applied to the development to secure the erection of the refuse point.

Construction Management Plan

7.41 The applicant has provided a Construction Management Plan as part of the submission, subsequently assessed by the highway officer. While many of the principles in the document are acceptable, a “more detailed CMP should be conditioned, to include details such as frequencies of deliveries, maximum size of vehicles expected, and turning space within the site”.

Sustainable Drainage

7.42 London Plan policies 5.12 and 5.13 require the consideration of the effects of development on flood risk and sustainable drainage respectively. Core Policy 28 ("Managing flood risk through development") confirms the Council's approach to flood risk, inclusive of the requirement for SuDS in all developments Policy DMD 61 (Managing Surface Water) expects a Drainage Strategy will be required for all developments to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan. All developments must maximise the use of and, where possible, retrofit Sustainable Drainage Systems (SuDS) which meet policy requirements.

7.43 The applicant has submitted a conceptual surface water Strategy report (Dated September 2018 - prepared by innervision design) and a detail SUDs plan of the site (Ref 2087-15 Rev b) providing clarification of the works and changes to be undertaken as part of the associated SUDs strategy. The details submitted have been assessed against, but not limited to the requirement to meet the 1 in 100 year surface water flood risk mitigation measures. The councils SUDs officer considers the sustainable drainage strategy to eb acceptable and therefore shall form a compliance planning condition.

Trees & Landscaping

7.44 Policy DMD 80 (Trees on development Sites) expects all development that involve the loss of or harm to trees of significant amenity or biodiversity value will be refused. The development site includes a reasonable level of tree coverage and represents a consideration in the assessment of the development of the site. The applicant has provided the following reports and plans to illustrate the existing condition and location of trees on the site.

- The applicant submitted Arboricultural Method Statement (prepared by David Archer Associates, Dated March 2018)

- Arb Method Statement (Prepared by Arbtech AMS Dated October 2018)
- Tree plan RPA (Prepared by Arbtech AIA 01 - Dated October 2018)
- Tree protection plan incl barriers (Prepared by Arbtech Ref AIA 01 Dated October 2018)

7.45 The councils tree officer has reviewed the submitted documents and makes the following assessment,

"The trees to be removed should not be considered a constraint to development having either low amenity value, of poor condition or growing in an unsuitable location for safe useful viability".

The tree officer raises no objection to the proposed development with regard to arboricultural considerations however pre-commencement conditions shall be applied to the site include an updated tree protection plan and arboricultural method statement detailing a robust methodology for the protection of the third-party owned trees in adjacent sites throughout the duration of the development. The condition shall include but not be limited to clarification of the RPA area and utilisation of fencing to protect the third part trees.

7.46 The proposed scheme includes the addition of a replacement tree and other landscaping layouts both hardstanding and soft in nature. Boundary treatments between the units and the surrounding site will need to be addressed prior to commencement and shall form a pre-commencement condition.

Energy

7.47 Policy 5.2 of the London Plan (2016) expects development proposals to make the fullest contribution to minimising carbon dioxide emission and Enfield Core Strategy Policy CP4 sets a strategic objective to achieve the highest standard of sustainable design and construction throughout the Borough. Policy DMD 50 (Environmental Assessment Methods) required the proposed Development to achieve Code Level 4 (or equivalent rating if

this scheme is updated) where it is technically feasible and economically viable to do so. The adopted policies require that new developments achieve the highest sustainable design and construction standards having regard to technical feasibility and economic viability. A 35% CO2 reduction over Part L of Building Regulations (2013) is required.

7.48 The applicant has provided a no energy report to confirm the C02 emission levels on site upon completion of development but following discussions with the planning officer, solar panels are to place on the roof of each dwelling (see plan ref 2087-09 Rev b) elevated at a shallow angle to remove visibility from ground level. The utilisation of solar panels along with maximising a fabric first design are the most appropriate and practical on-site forms of reducing CO2 emissions in line with policy targets. The requirement for an energy report clarifying the fore-mentioned target shall form part of a pre-commencement planning condition.

Water:

7.49 Policy DMD 58 (water Efficiency) expects new residential development, including new build and conversions, will be required to achieve as a minimum water use of under 105 litres per person per day. The applicant has provided no reports or documents to confirm how the proposed development will implement water efficiency measures to achieve usage of less than or equal to 105 litres/person/day for residential developments and incorporate water saving measures and equipment. A condition shall be applied to secure the water usage on the development site.

Security

7.50 The site of the proposed terrace would only be accessible via the 50m access road and while no security gate is proposed the degree of natural surveillance from the host dwellings and surrounding properties would create an acceptable level of passive surveillance and security without the

need for structural security requirements. Nevertheless, the council shall seek via a planning condition pertaining to the enclosure of the site to include provision of security lights and anti-climb fencing as part of the enclosure details on the site.

Section 106 Agreements

Affordable housing contribution

7.51 Chapter 5 (Delivering a sufficient supply of homes) of the updated NPPF (January 2019) expects residential developments to provide a size, type and tenure of housing needed for different groups in the community", forming a core element of housing provision reflected in planning policies".

7.52 Policy 3.13 (Affordable housing Thresholds) of the adopted London Plan 2016 States Boroughs are encouraged to seek a lower threshold through the LDF process where this can be justified in accordance with guidance, including circumstances where this will enable proposals for larger dwellings in terms of floorspace to make an equitable contribution to affordable housing provision.

7.53 Following the Court of Appeal decision on 11 May 2016, policies CP3 of the Core Strategy and Policy DMD 2 of the Development Management Document are now defunct and do not sit within the scope of the National Policy exemptions. Only development of 10 or more dwellings as per the updated NPPF (Adopted January 2019) shall seek affordable housing.

CIL Financial Contribution Payable

7.54 The development shall pay the following CIL contributions upon commencement of development.

Mayoral CIL

7.55 The Mayoral CIL is collected by the Council on behalf of the Mayor of London. The amount that is sought is for the scheme is calculated on the net increase of gross internal floor area multiplied by the Outer London weight of £60 together with a monthly indexation figure. It is noted as of the 1st of April 2019 Mayoral CIL has increased to £60/m².

7.56 Mayoral community infrastructure levy (CIL) is payable, based on the submitted CIL Form, on the basis of 683 sqm of additional gross floor area net of the existing houses, which from 1 April 2019 will be calculated at £60 per sqm:

615 sqm x £60 = £ 36,000

Enfield CIL

7.57 On 1 April 2016, the Council introduced its own CIL. The money collected from the levy (Regulation 123 Infrastructure List) will fund rail and causeway infrastructure for Meridian Water.

7.58 The Council CIL payment should therefore be as follows based on the estimated net additional gross floorspace in the submitted CIL form:
683 sqm x £120 per sqm = £ 73,800.00

7.59 The planning approval is subject to a signed s106 legal agreement requiring the applicant to undertake a submission to the Highway Authority for obligations and undertakings related to a TRO and TMO subject to an obligation fee of £2500 for each aspect TRO and TMO. Once the obligations within the s106 legal agreement are satisfied the application can commence. A pre-commencement condition has been added to the planning approval.

8.0 Conclusion

8.1 The design, sitting, massing, standard of accommodation and impact on neighbouring amenity are considered acceptable to adopted Enfield planning policy within the Core Strategy (2010) and Development

Management Document (2014). The concerns with the access arrangements from Draper Road are addressed via the obligations laid out in the accompanying s106 legal agreement and appropriate spacing and layouts within the site itself have been resolved. Appropriate pre-commencement and occupation planning conditions shall be applied to the site to address energy, landscaping and tree protection aspects of the development amongst compliance conditions.

9.0 Recommendation

That, **PLANNING PERMISSION BE GRANTED subject to a s106 legal agreement and planning conditions;**

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

   Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. The development hereby approved shall only be laid out as 5 self-contained units comprising 5 x 3-bed dwellinghouses as shown on the approved drawings. There shall be no deviation from the number, size or mix of units from that approved without the prior approval of the Local Planning Authority.

   Reason: Having regard to securing an appropriate mix in the number and size of units and having regard to adopted parking standards.

3 Unless required by any other condition attached to this Decision, the development hereby permitted shall be carried out in accordance with the following approved plans and documents:

Plans/drawings

Location Plan (Ref 2087 07 Rev d)
Proposed Ground, First and second floor Plans - (Ref 2087-08 Rev b)
Proposed Front, Rear, side elevations (Ref 2087- 09 Rev b) (Including solar panels)
Proposed site Plan (Ref 2087- 10 Rev d)
Proposed Bike sheds (Ref 2087 - 11)
Bin Store (Ref 2087-12 Rev b)
Proposed elevations (Ref 2087-13 Rev b)
Proposed Roof Plan (Ref 2087 - 14 Rev a)
Proposed Site SUDS Plan (Ref 2087 15 Rev b)
Existing elevations and floorplans No 20 (Ref 2087-16 Rev a)
Proposed Elevations of No 20 Draper (Ref 2087 -17 Rev c)
Existing & Proposed Streetscene (Ref 2087 18 Rev a)
Proposed Access (Ref 2087-19)
Swept Path Analysis (Ref SK01)
Position of Proposed Double Yellow Line Waiting Restriction (SK02)

Supporting documents

Design & Access Statement (Dated 01/10/2018)
Arb Method Statement (Prepared by Arbtech AMS Dated October 2018)
Tree plan RPA (Prepared by Arbtech AIA 01 - Dated October 2018)
Tree protection plan incl barriers (Prepared by Arbtech Ref AIA 01 Dated October 2018)
Flood Risk Map (Dated 20/09/2018)
Conceptual Surface water Strategy report (Prepared Innervision Design Ltd Dated September 2018)
Tree Survey (Prepared Arbtech Dated 18 September 2018)
Detailed Tree survey (Prepared by Arbtech Dated September 2018)
Tree Constraints Map (prepared by Arbtech Ref TCP 01)

Reason: To ensure the development proceeds in accordance with the approved plans.

4. No above ground works shall commence until details of the external finishing materials to be used have been submitted to and approved in writing by the Local Planning Authority. The development shall be constructed in accordance with the approved details.

Reason: To ensure a satisfactory external appearance.

5 Prior to commencement of works above or below ground, the applicant will seek with the council to provide double yellow lines adjacent and opposition the site of access to the development site of Draper Road to facilitate access to the site for delivery/refuse and other wide load vehicles. The requirement forms park of the s106 legal agreement linked to the planning application.

Reason: To ensure refuse and delivery vehicles have uninhibited access to the site and damage to the public road network is not caused.

6. Prior to commencement (Notwithstanding demolition and clearance of the site) until details of the surfacing materials to be used within the development including footpaths, access roads and parking areas and road markings have been submitted to and approved in writing by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved detail before the development is occupied or use commences.

Reason: To ensure a satisfactory visual appearance and in the in interests of highway safety

7 Prior to commencement (Notwithstanding demolition and clearance of the site) details of the parking / turning facilities, typical details, including siting and design of plugs, of electric vehicular charging points to be provided in accordance with London Plan standards (minimum 20% of spaces to be provided with electric charging points and a further 20% passive provision for electric vehicles in the future) shall be provided to the Local Planning Authority for approval in writing. All electric charging points shall be

installed in accordance with the approved details prior to first occupation of the development and permanently maintained and retained.

Reason: To ensure that the development complies with the sustainable development policy requirements of the London Plan.

8 The parking area forming part of the development site (spaces labelled 6 to 10 inclusive) shall only be used for the parking of private motor vehicles directly linked to residents of the development and shall not be used for any other purpose.

Reason: To ensure that the development complies with Development Plan Policies and to prevent the introduction of activity which would be detrimental to amenity

9 Prior to occupation a detailed parking plan clearly illustrating Nationally recognised (4.8m x 2.4m) parking space dimensions for the ten (10) proposed spaces on site shall be provided to the local planning authority.

Reason: To ensure that the development complies with adopted Policy and does not prejudice conditions of safety or traffic flow on adjoining highways.

10 Prior to the first occupation of the 5 x 3 bedroom dwellings, the hereby approved external details of the refuse collection point shall be erected and ready for use in accordance with the approved details before the development is occupied.

Reason: In the interests of amenity and the recycling of waste materials in support of the Boroughs waste reduction target.

11 Prior to commencement (Notwithstanding demolition and clearance of the site) No works or development shall take place until full details of the

landscape proposals have been submitted to and approved by the Local Planning Authority.
Details shall include:
(a) Planting plans;
(b) Written specifications (including cultivation and other operations associated with plant and grass establishment);
(c) Schedules of plants and trees, to include native, wildlife friendly species and large canopy trees in appropriate locations (noting species, planting sizes and proposed numbers / densities);
(d) Implementation timetables;
(e) Details of enclosure and boundary treatments on sites, to include sound insulation material, anti-climb
(f) Details of all hardstanding (permeable) materials
(g) Position and sitting of external security lights

All landscaping in accordance with the approved scheme shall be completed /planted during the first planting season following practical completion of the development hereby approved. The landscaping and tree planting detail shall set out a plan for the continued management and maintenance of the site and any planting which dies, becomes severely damaged or diseased within five years of completion of the development shall be replaced with new planting in accordance with the approved details or an approved alternative and to the satisfaction of the Local Planning Authority.

The boundary treatment and forms of enclosure shall be erected prior to the first occupation of the development and retained in perpetuality. Changes to the boundary treatment are required to be agreed in writing by the Local Planning authority.

Reason: To ensure that the ecological value of the site is enhanced post development in line with the Biodiversity Action Plan, CP36 of the Core Strategy and the London Plan. To minimise the impact of the development on the ecological value of the area, to ensure the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity and to preserve the character and appearance of the area in accordance with adopted Policy.

12. No development whatsoever shall take place in relation to the development hereby approved including site clearance and investigations as well as preparatory work, until a scheme for the protection of the retained trees on the boundary and adjacent third party trees (the tree protection plan) and the appropriate working methods (the arboricultural method statement) in accordance with Clause 7 of British Standard BS5837 - *Trees in Relation to Construction - Recommendations* has been agreed in writing by the local planning authority. The approved measures shall be implemented prior to the commencement of site clearance, preparatory work and development and shall be retained for the entirety of the construction period.

    If any retained tree is cut down, uprooted, destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the Local Planning Authority.

    Reason: To ensure that the retained trees, shrubs and hedgerows on the site are not adversely affected by any aspect of the development, having regard to Core Policies 30 and 36 of the Core Strategy.

13 Prior to commencement an energy report shall be provided to the local planning authority confirming the development shall provide for no less than a 35% improvement in the total CO2 emissions arising from the operation of the development and its services over Part L of Building Regs 2013 as the baseline measure.

    Reason: To ensure that the development meets or exceeds the energy efficiency and sustainable development policy requirements of the London Plan (2016) and the Policy CP4 of the Enfield Core Strategy and policy DMD 50 of the Enfield Development Management Plan (2014).

14. Prior to first occupation of the development approved, a verification report

demonstrating that the approved drainage / SuDS measures outlined in submitted conceptual surface water Strategy report (Dated September 2018 - prepared by innervision design) and a detail SUDs plan of the site (Ref 2087-15 Rev b) have been fully implemented shall be submitted to the Local Planning Authority for approval in writing.

Reason: In the interest of managing surface water runoff as close to the source as possible in accordance with adopted policy.

15. The development shall not commence until a construction management plan has been submitted to and approved by the Local Planning Authority. The construction management plan shall be written in accordance with London Best Practice Guidance and contain:
a. A photographic condition survey of the public roads, footways and verges leading to the site.
b. Details of construction access and associated traffic management.
c. Arrangements for the loading, unloading and turning of delivery, construction and service vehicles.
d. Arrangements for the parking of contractors' vehicles.
e. Arrangements for wheel cleaning.
f. Arrangements for the storage of materials.
g. Hours of work.
h. The storage and removal of excavation material.
i. Measures to reduce danger to cyclists.
j. Dust mitigation measures.
k. Membership of the Considerate Contractors Scheme

The development shall be carried out in accordance with the approved construction management plan unless otherwise agreed by the Local Planning Authority.

Reason: To ensure construction does not lead to damage of the nearby public road network and to minimise disruption to the neighbouring properties.

16. The development shall not commence until an undertaking to meet with best practice under the Considerate Constructors Scheme and achieve formal certification has been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not adversely impact on the surrounding area and to minimise disruption to neighbouring properties.

17 Prior to any commencement ((Notwithstanding demolition and clearance of the site) details of the internal consumption of potable water shall be submitted to the Local Planning Authority for approval in writing. Submitted details will demonstrate reduced water consumption through the use of water efficient fittings, appliances and recycling systems to show consumption equal to or less than 105 litres per person per day, unless written permission is otherwise granted.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To promote water conservation and efficiency measures in all new developments in accordance with policy 5.15 of the London Plan, CP21 of the Core Strategy and DMD58 of the Development Management Document.

18 No loading or unloading of goods including fuel, by vehicles arriving at or departing from the premises shall be carried out other than within the curtilage of the site.

Reason: To avoid obstruction of the surrounding streets and to safeguard the amenities of adjoining properties.

Informatives

1. The following British Standards should be referred to:

a) BS: 3882:2015 Specification for topsoil

b) BS: 3936-1:1992 Nursery Stock - Part 1: Specification for trees and shrubs

c) BS: 3998:2010 Tree work – Recommendations

d) BS: 4428:1989 Code of practice for general landscaping operations (excluding hard surfaces)

e) BS: 4043:1989 Recommendations for Transplanting root-balled trees

f) BS: 5837 (2012) Trees in relation to demolition, design and construction - Recommendations

g) BS: 7370-4:1993 Grounds maintenance part 4. Recommendations for maintenance of soft landscape (other than amenity turf).

h) BS: 8545:2014 Trees: from nursery to independence in the landscape – Recommendations

i) BS: 8601:2013 Specification for subsoil and requirements for use

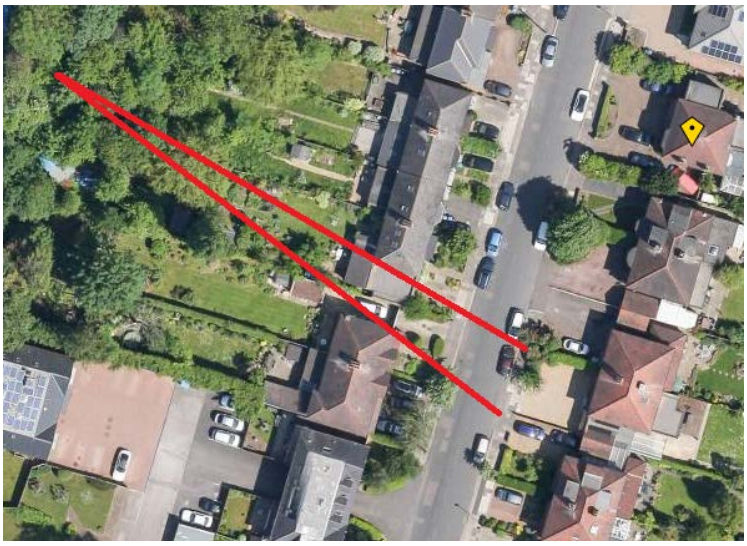
2. The applicant is reminded all highway works must form part of a section 278 signed with the Highway Authority

Site photos

Crossover opposite No 20-24 Draper Road

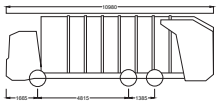
Development on Draper Road to the North of the site

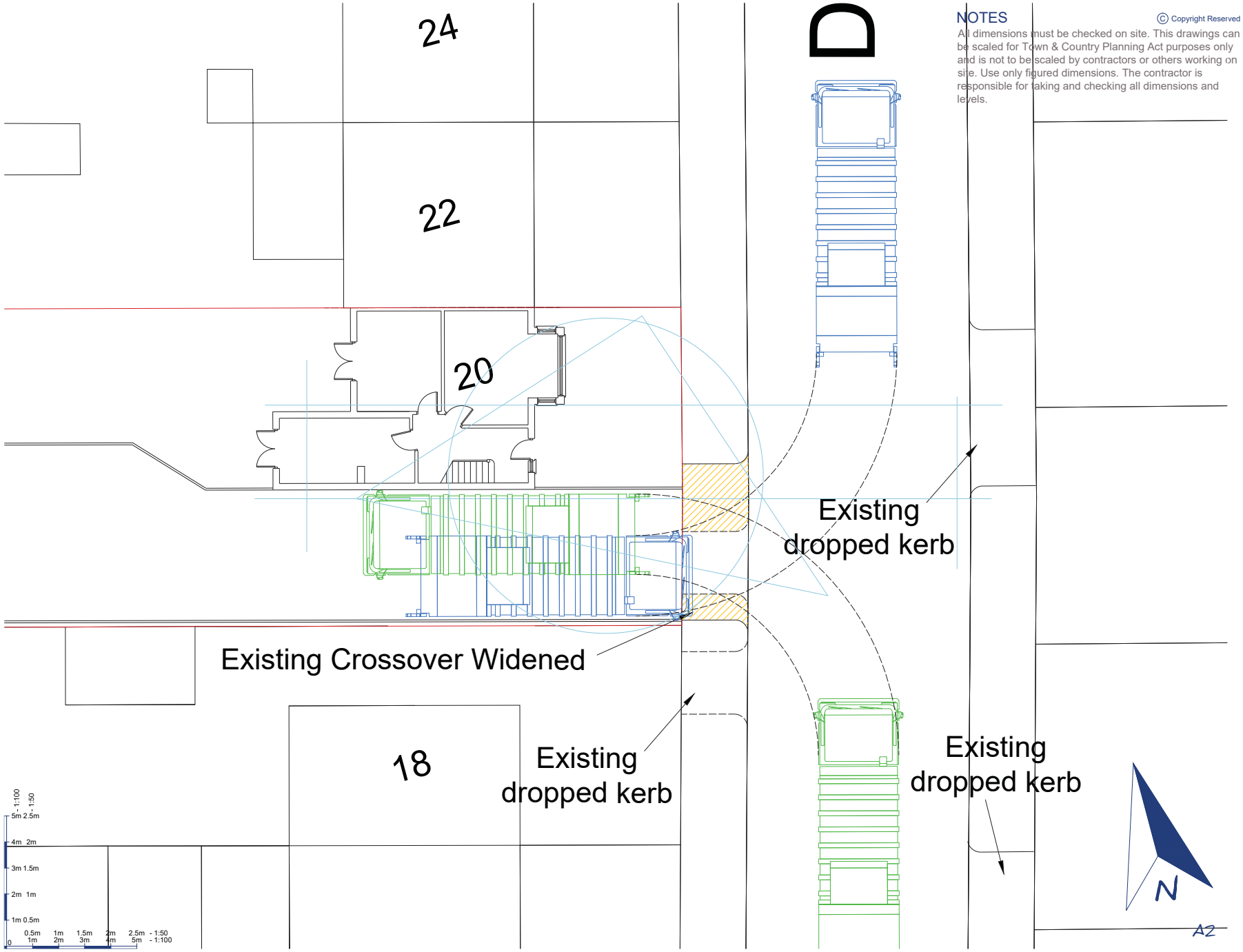
Static views of site between No 20 and No 18 Draper Road



Rear of No 28-32 Draper Road

Rear of donor sites on Draper Road





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Paul Samson
Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Existing House
Proposed Site Access

Date:
Nov. 18

Drawn:
BS

Drawing Number:
2087 - 19

Scale:
1:100

Revisions:

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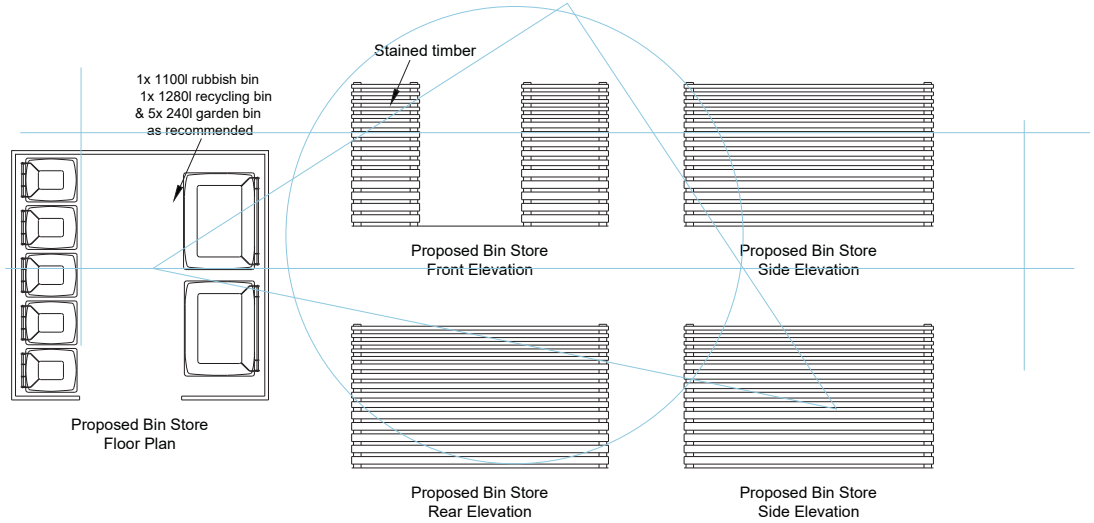

Paul Samson
Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Proposed Bin Store
Plan and Elevations

Date:
Dec. 18

Drawn:
BS

Drawing Number:
2087 - 12b

Scale:
1:50

Revisions:

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1:100 - 1:50
5m 2.5m
4m 2m
3m 1.5m
2m 1m
1m 0.5m
0 0.5m 1m 1.5m 2m 2.5m - 1:50
1m 2m 3m 4m 5m - 1:100

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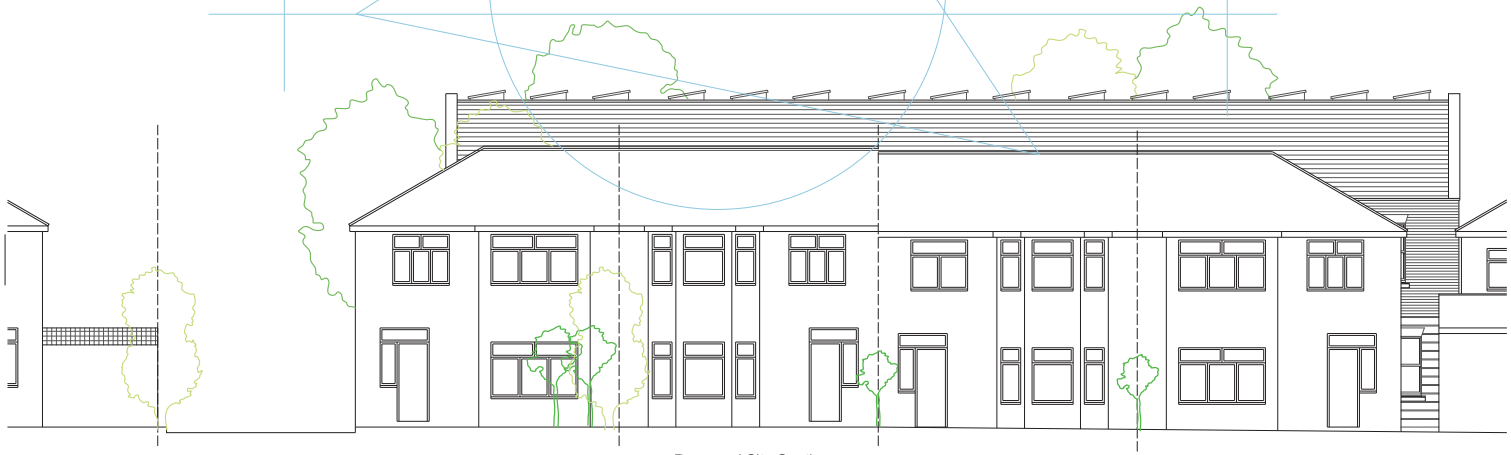
Existing Site Section



Proposed Site Section

Paul Samson
Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Existing House
Existing & Proposed Street Scene

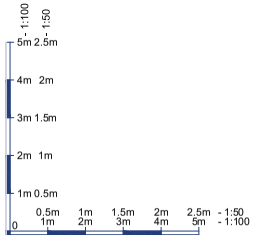
Date:
Dec. 18

Drawn:
BS

Drawing Number:
2087 - 18a

Scale:
1:100

Revisions:



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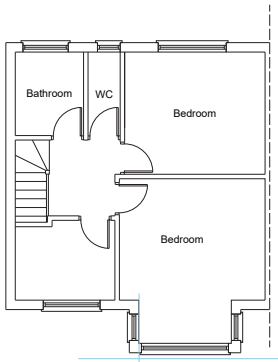
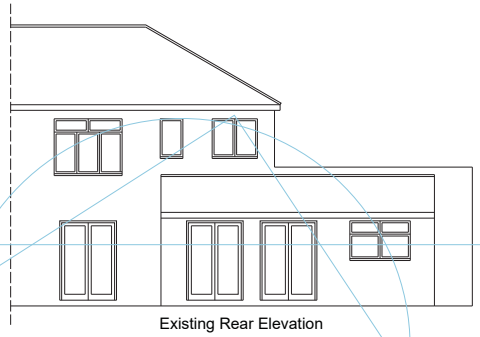
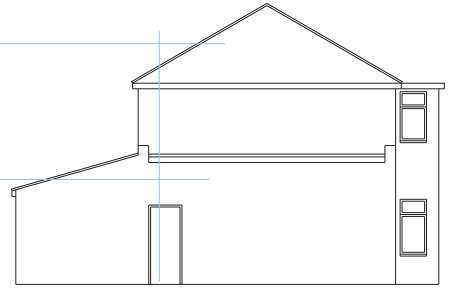


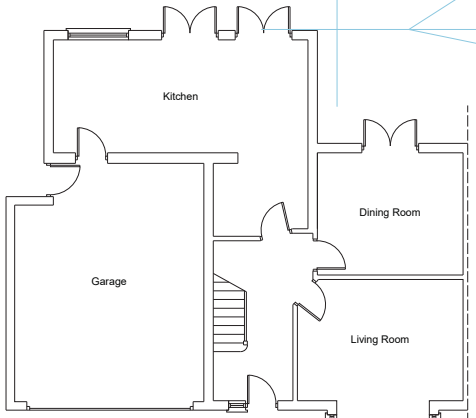
Existing First Floor Plan



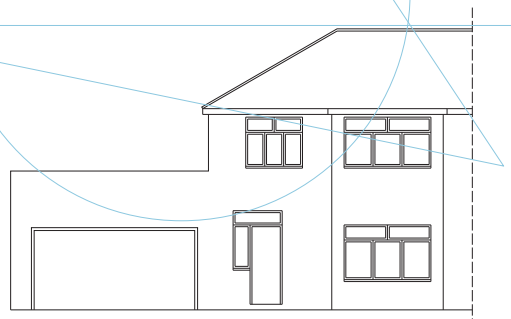
Existing Rear Elevation



Existing Side Elevation



Existing Ground Floor Plan



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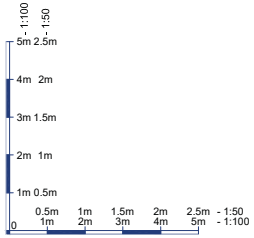

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Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Existing House
Existing Floor Plan & Elevations

Date:
Oct. 18

Drawn:
BS

Drawing Number:
2087 - 16a

Scale:
1:100

Revisions:

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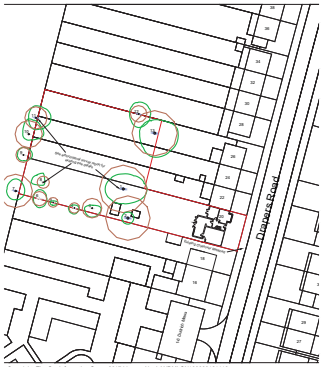

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Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Existing Site Plan 1:200
Location Plan 1:1250

Date: Sep. 18

Drawn: BS

Drawing Number: 2087 - 07d

Scale:

Revisions:

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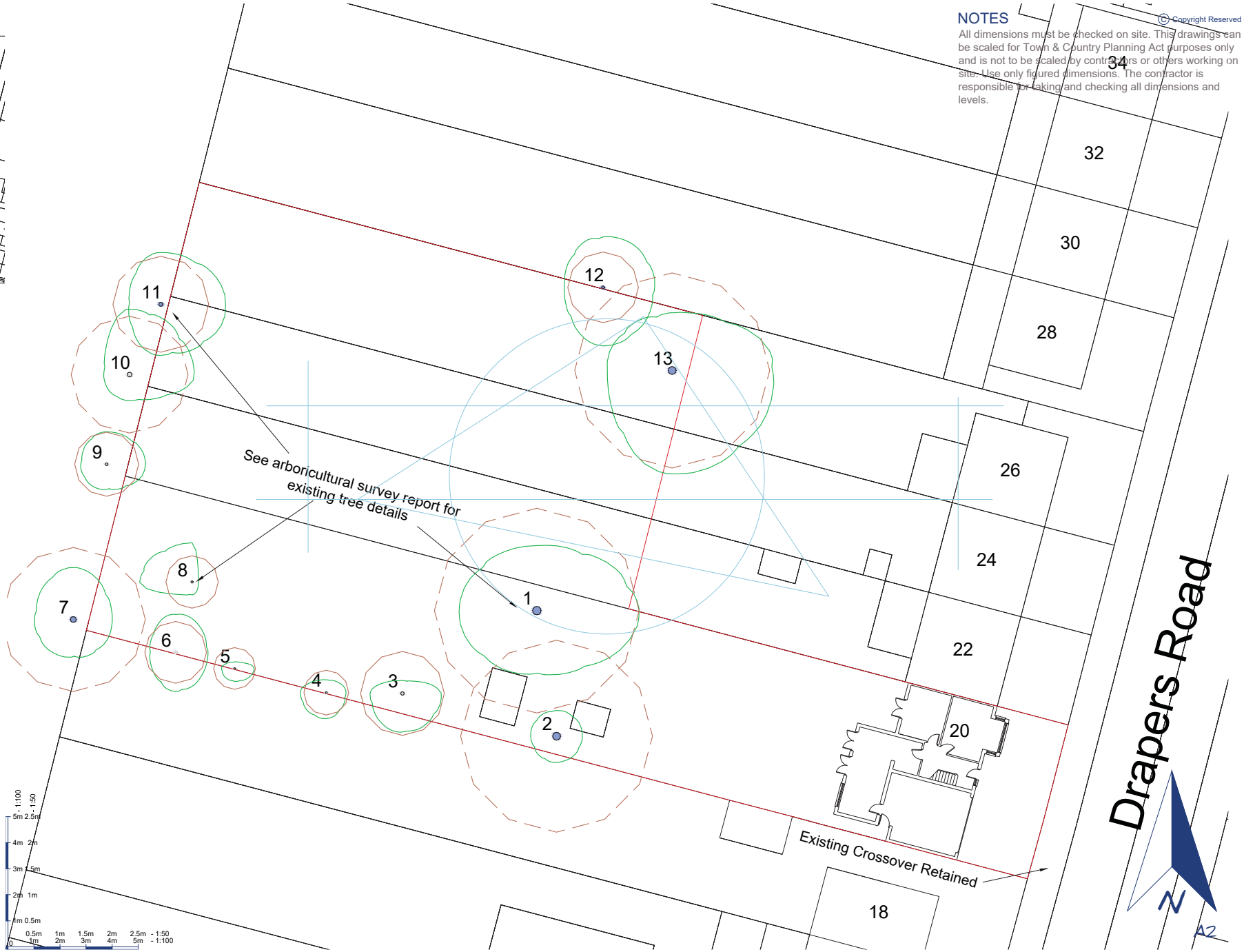

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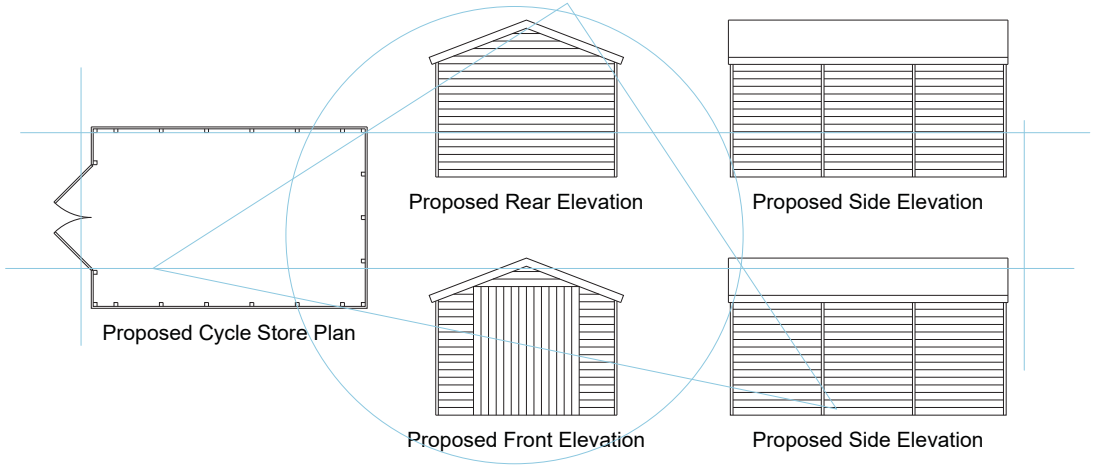


Paul Samson
Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Proposed Cycle Stores
Plan and Elevations

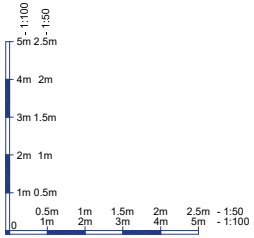
Date:
Jul. 18

Drawn:
BS

Drawing Number:
2087 - 11

Scale:
1:50

Revisions:



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Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Proposed Front & Rear Elevations

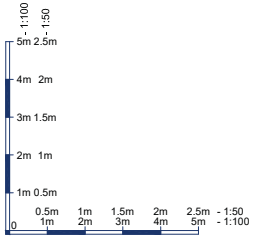
Date:
Dec. 18

Drawn:
BS

Drawing Number:
2087 - 09b

Scale:
1:100

Revisions:



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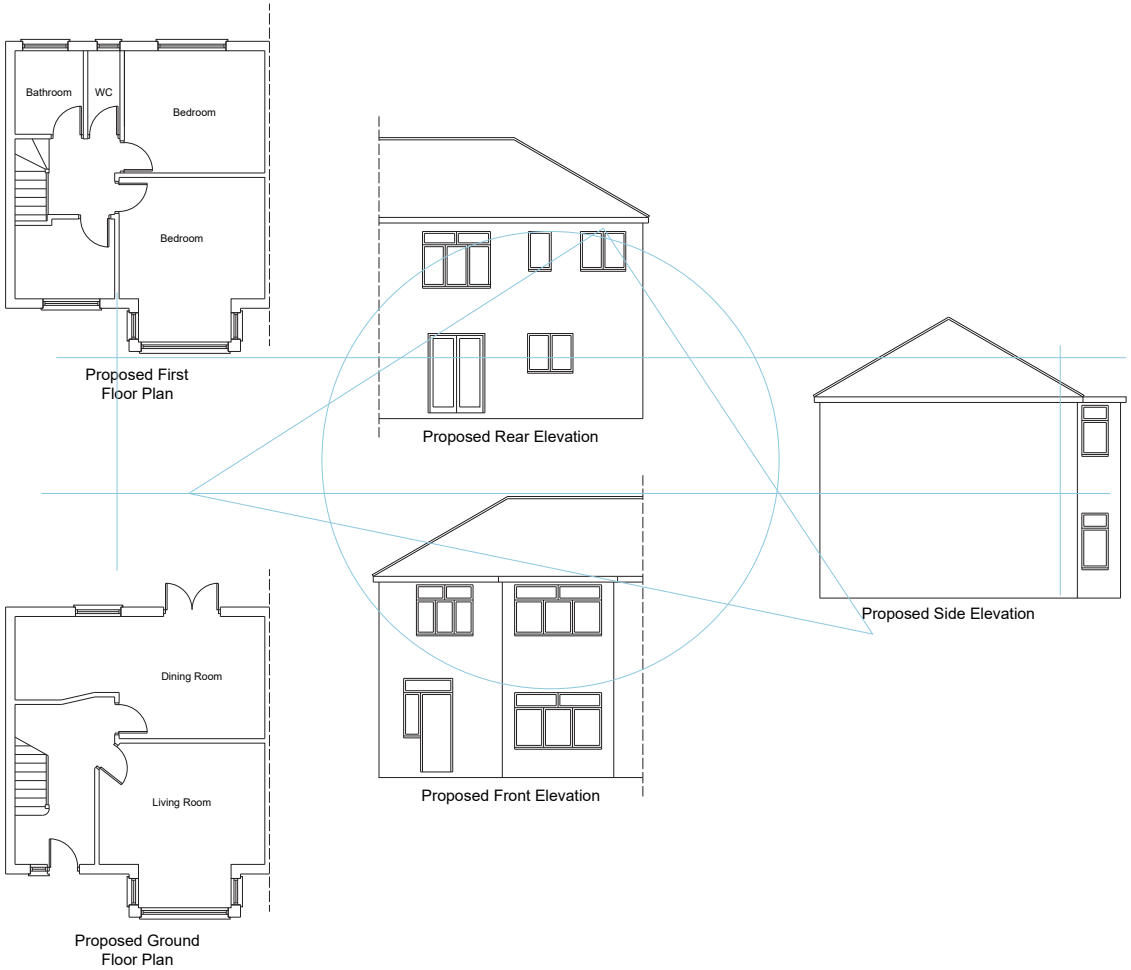


Paul Samson
Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Existing House
Proposed Floor Plan & Elevations

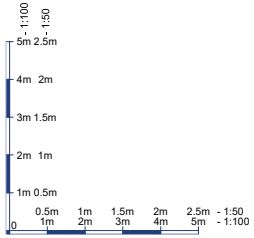
Date:
Dec. 18

Drawn:
BS

Drawing Number:
2087 - 17c

Scale:
1:100

Revisions:



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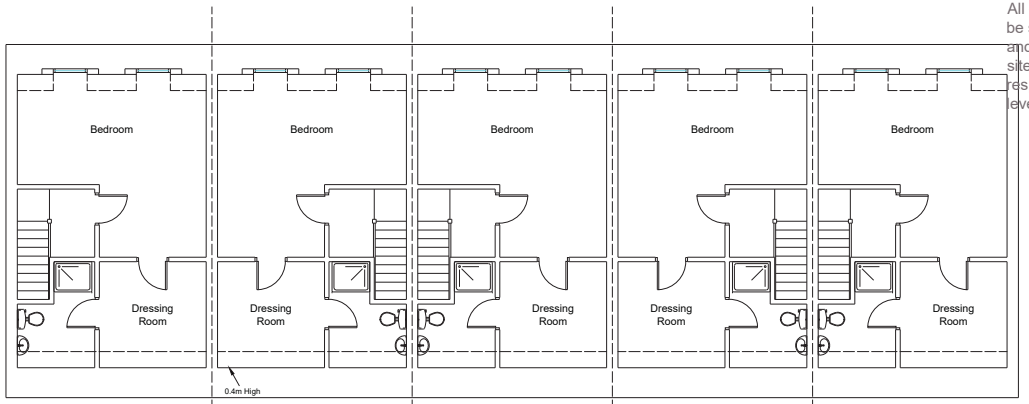
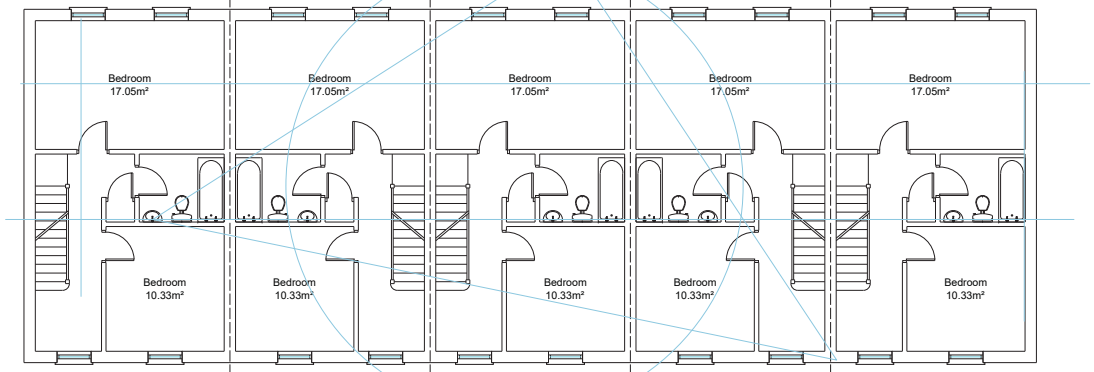
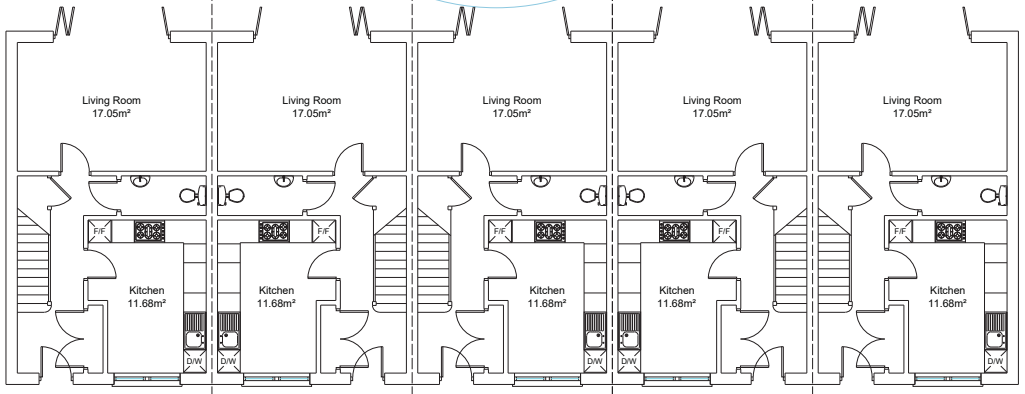


Proposed Second Floor Plan



Proposed First Floor Plan



Proposed Ground Floor Plan

Paul Samson
Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Proposed Floor Plans

Date: Dec. 18

Drawn: BS

Drawing Number: 2087 - 08b

Scale: 1:100

Revisions:

Paul Samson
Chartered Surveyors
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Burnt Farm Ride
Enfield
Crews Hill
EN2 9DY
T: 0208 350 6070
E: plansam@plansam.co.uk

RICS

1:100 - 1:50
5m 2.5m
4m 2m
3m 1.5m
2m 1m
1m 0.5m
0 0.5m 1m 1.5m 2m 2.5m - 1:50
1m 2m 3m 4m 5m - 1:100

A2

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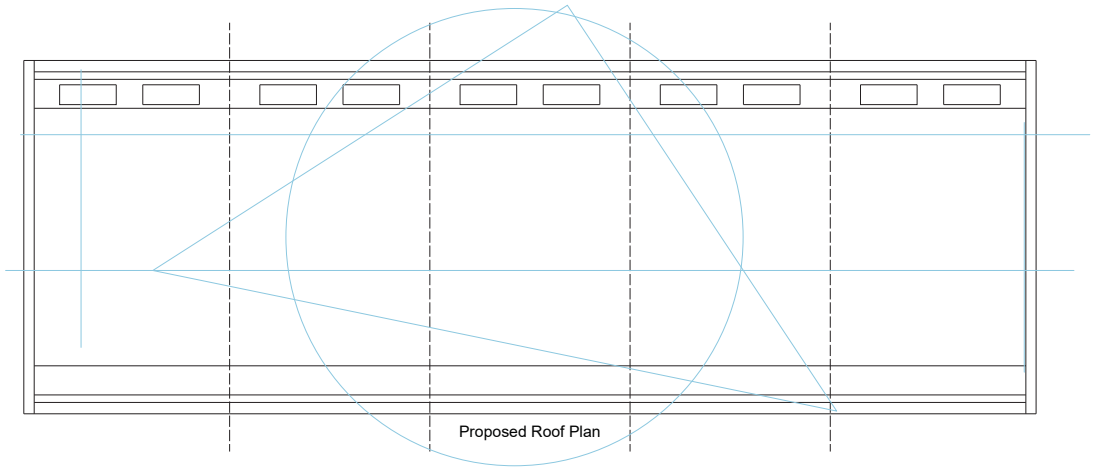


Paul Samson
Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Proposed Roof Plan

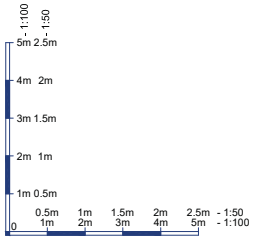
Date:
Dec. 18

Drawn:
BS

Drawing Number:
2087 - 14a

Scale:
1:100

Revisions:



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A2

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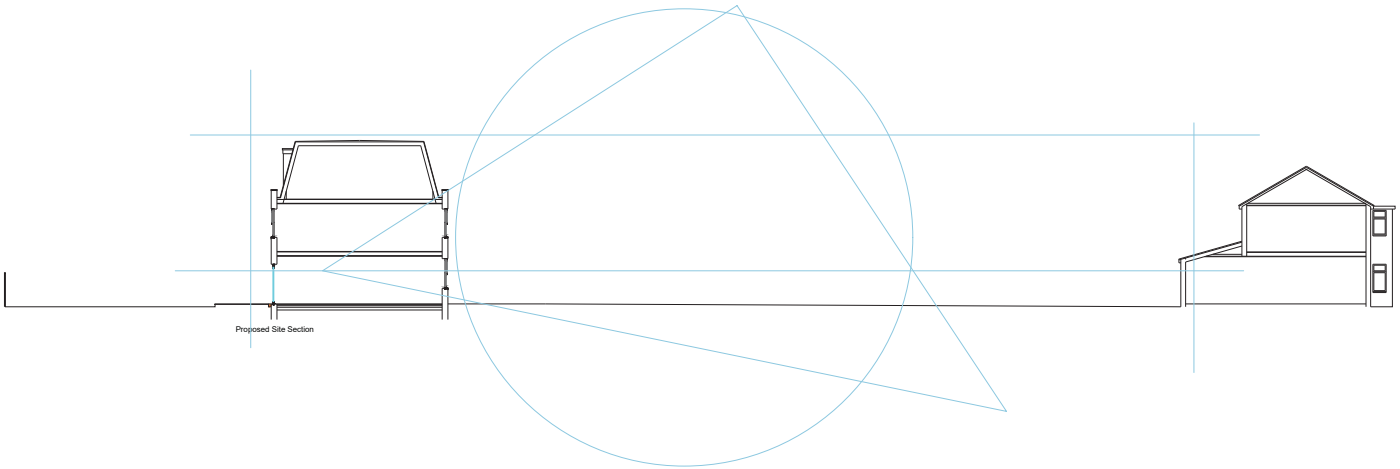


Paul Samson
Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Proposed Site Section
Through New Town Houses

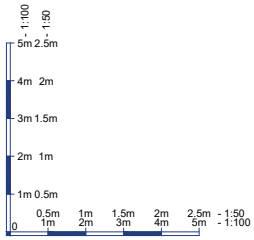
Date:
Dec. 18

Drawn:
BS

Drawing Number:
2087 - 13b

Scale:
1:200

Revisions:



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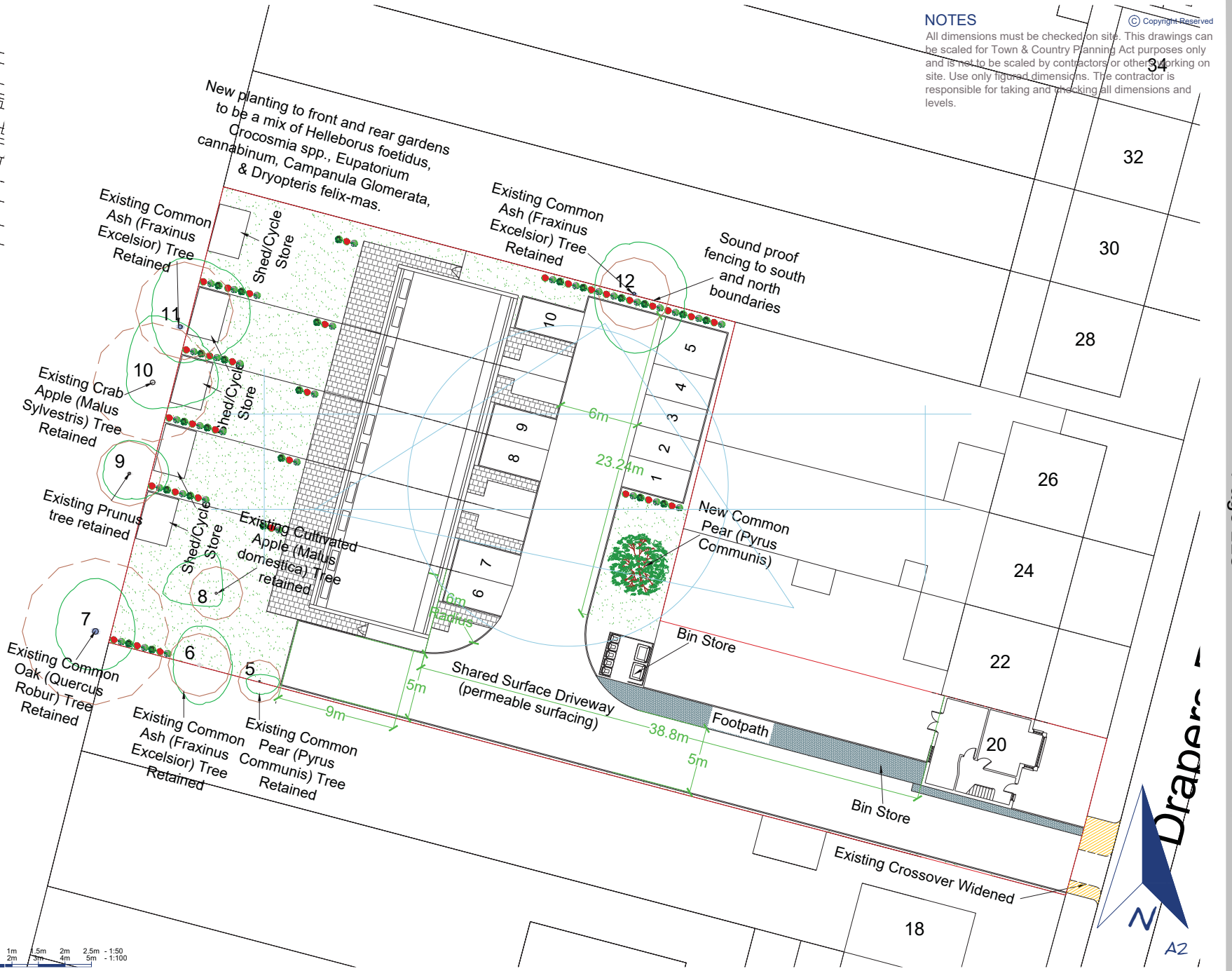
A2



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Paul Samson
Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Proposed Site Plan 1:200
Location Plan 1:1250

Date: Dec. 18

Drawn: BS

Drawing Number: 2087 - 10d

Scale:

Revisions:

Paul Samson
Chartered Surveyors
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Enfield
Crews Hill
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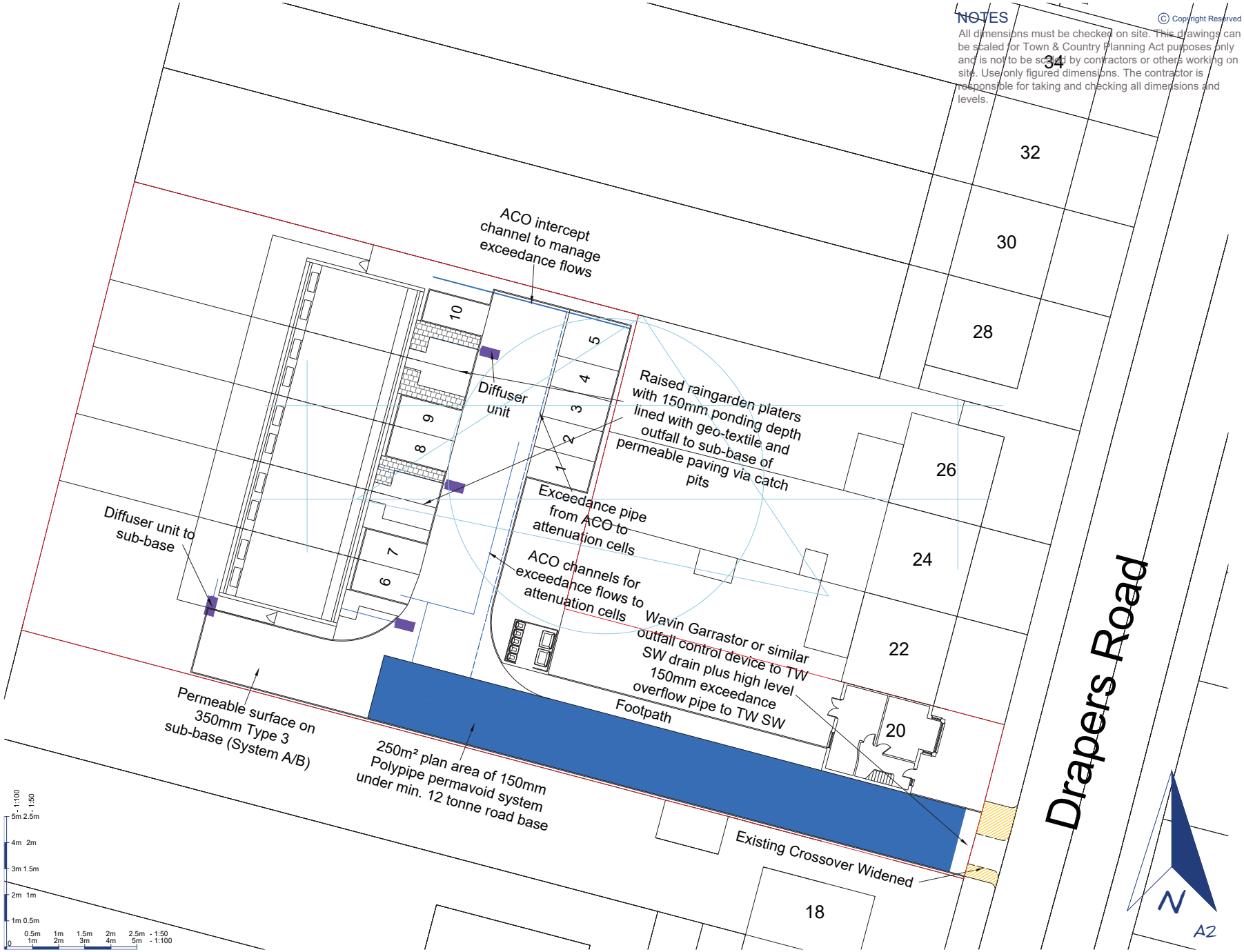
RICS



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Paul Samson
Chartered Surveyors

Site Address:
Land at 20 Drapers Road
Enfield
EN2 8LU

Project:
Proposed Town Houses
Proposed Site Plan
Showing SUDs Details

Date: Dec. 18

Drawn: BS

Drawing Number: 2087 - 15b

Scale: 1:200

Revisions:

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Crews Hill
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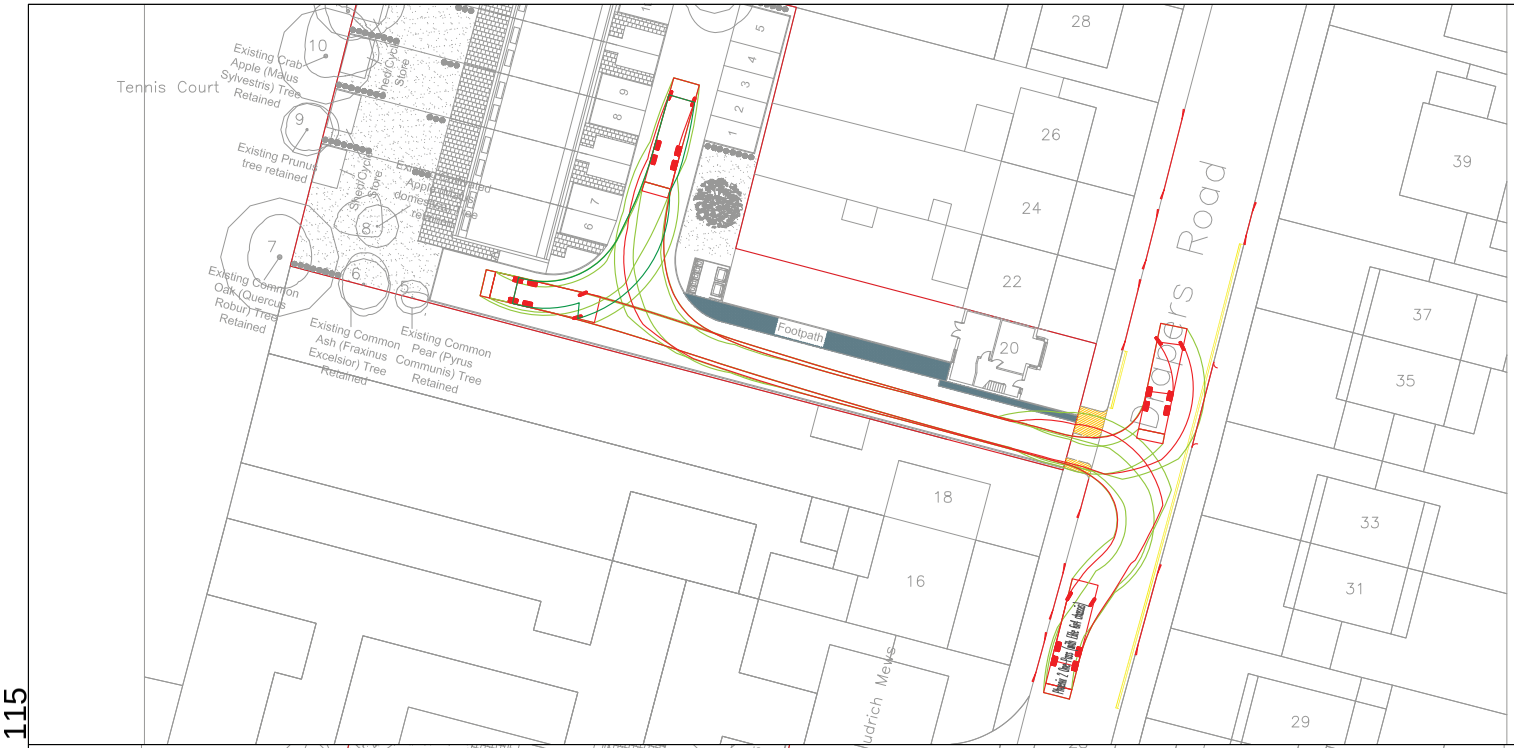
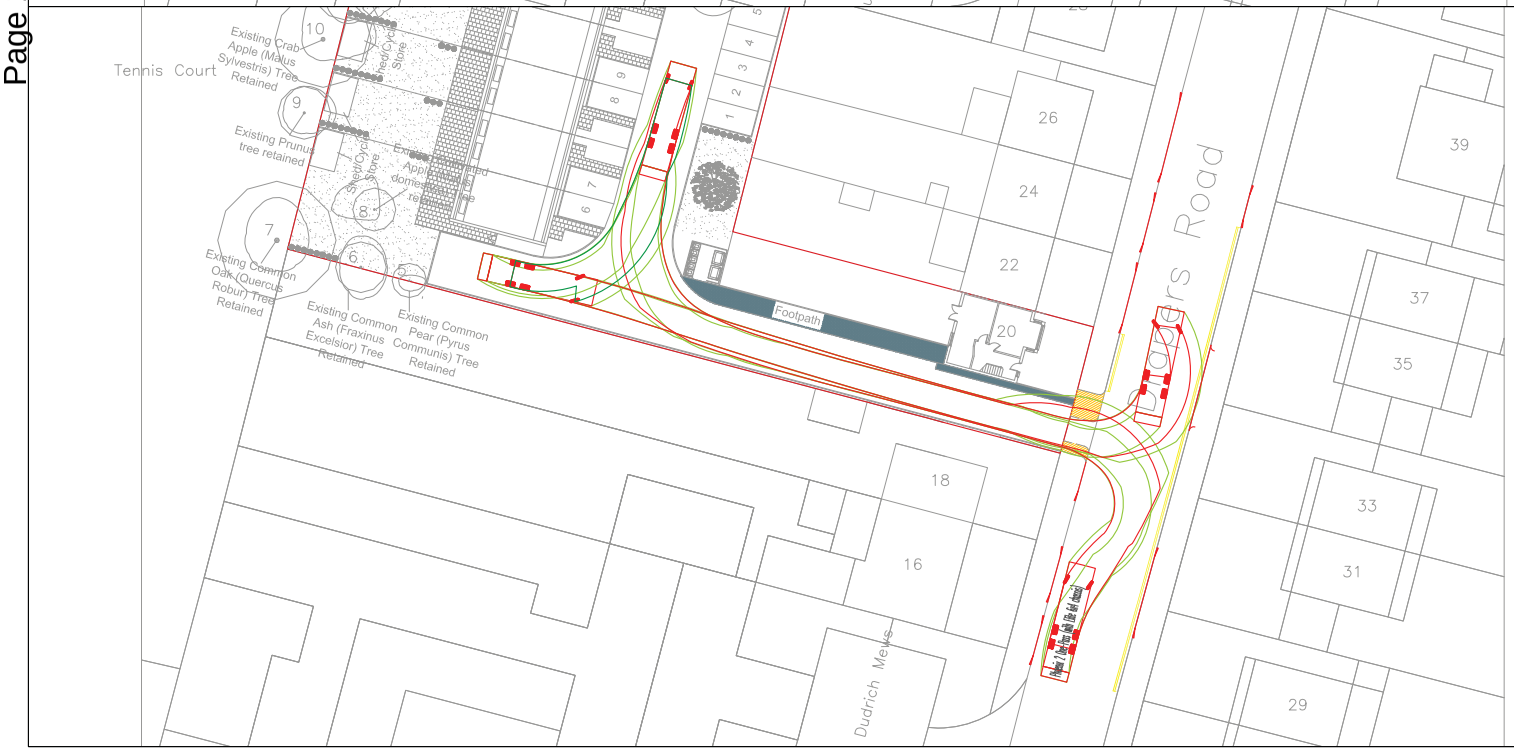
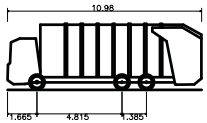
RICS







Phoenix 2 One-Pass (with Elite 6x4 chassis)

Overall Length	10.980m
Overall Width	2.500m
Overall Body Height	3.751m
Min Body Ground Clearance	0.304m
Track Width	2.500m
Lock to lock time	4.00s
Kerb to Kerb Turning Radius	9.000m

REV	DATE	BY	DESCRIPTION	CHK	APD

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Unit 23, The Maltings, Stanstead Abbotts, Hertfordshire, SG12 8HG
Tel: 01920 871777

www.eastp.co.uk

CLIENT:

ARCHITECT:

PROJECT:

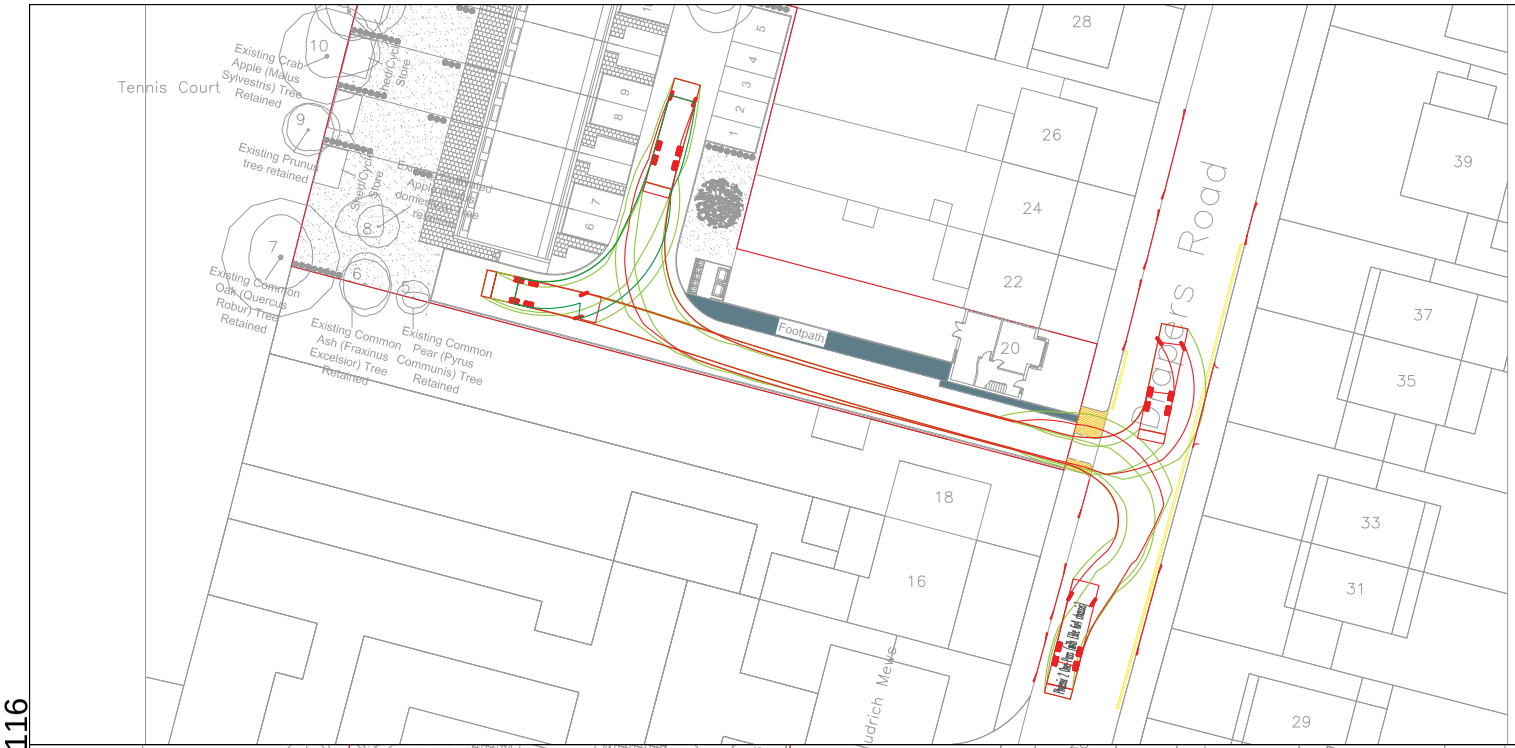
LAND BEHIND 20 DRAPERS LANE, ENFIELD

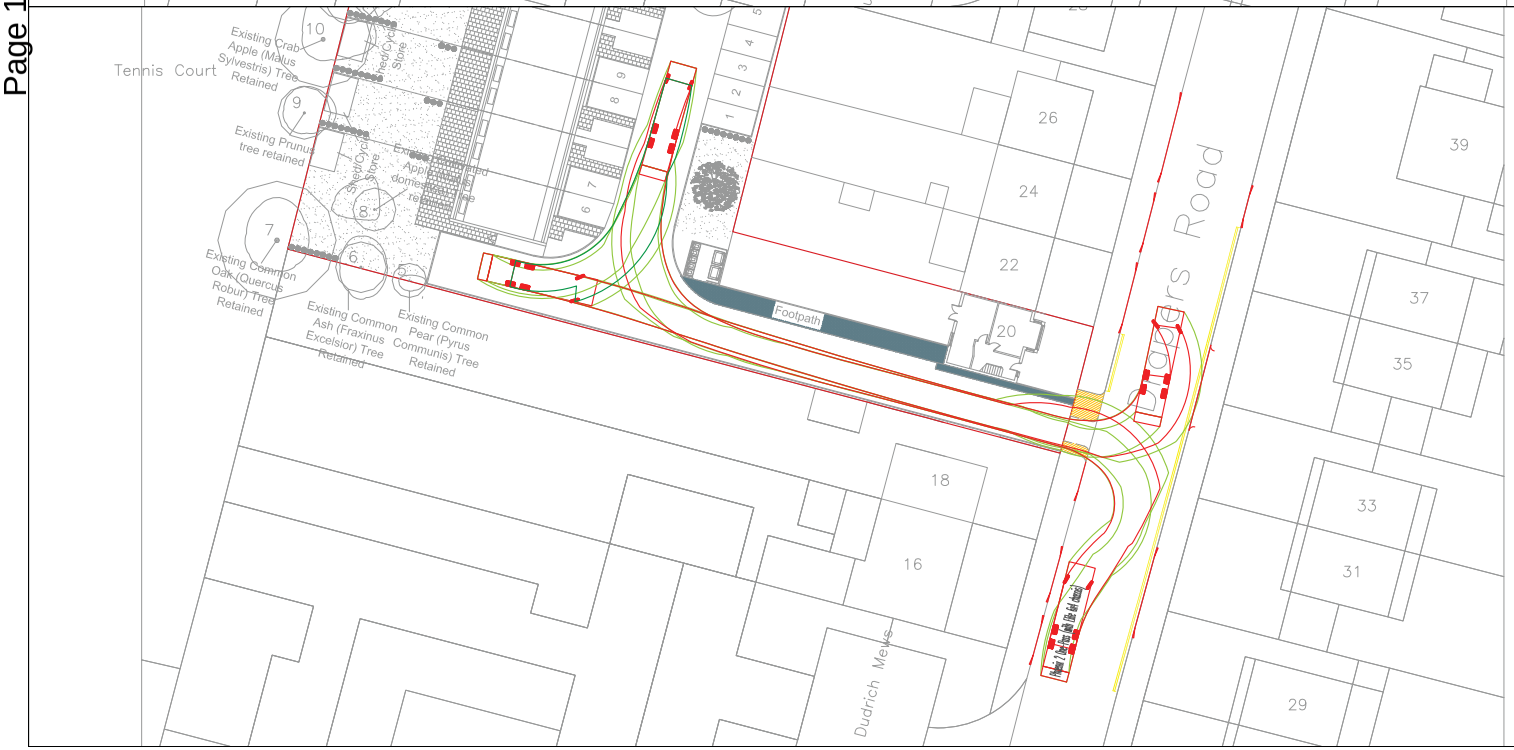
TITLE:

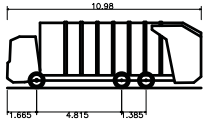
SWEPT PATH ANALYSIS

SCALE @ A3:	DESIGN-DRAWN:	DATE:
1:500	EC	19/12/2018

PROJECT No:	DRAWING No:
2031	SK01







Phoenix 2 One-Pass (with Elite 6x4 chassis)

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Min Body Ground Clearance	0.304m
Track Width	2.500m
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Kerb to Kerb Turning Radius	9.000m

REV	DATE	BY	DESCRIPTION	CHK	APD

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Tel: 01920 871777

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CLIENT:

ARCHITECT:

PROJECT:

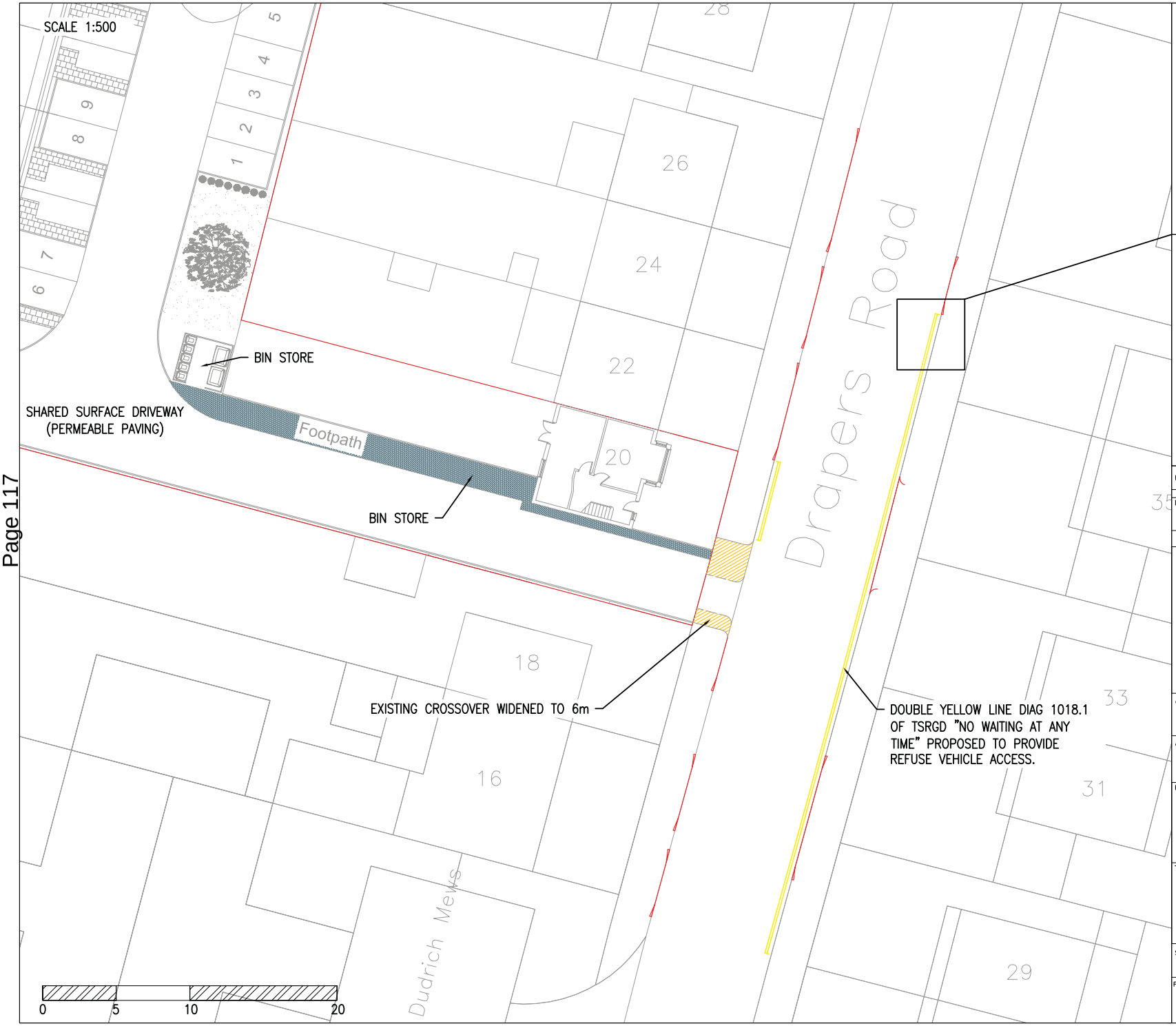
LAND BEHIND 20 DRAPERS LANE, ENFIELD

TITLE:

SWEPT PATH ANALYSIS

SCALE @ A3:	DESIGN-DRAWN:	DATE:
1:500	EC	19/12/2018

PROJECT No:	DRAWING No:
2031	SK01

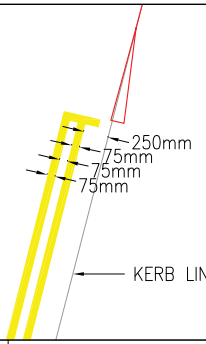


KEY:

NO WAITING AT ANY TIME

POSITION OF DROPPED KERBS FOR VEHICLE ACCESS

SCALE 1:50



REV	DATE	BY	DESCRIPTION	CHK	APD

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Tel: 01920 871777

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CLIENT:

ARCHITECT:

PROJECT:

LAND BEHIND 20 DRAPERS LANE, ENFIELD

TITLE:

POSTION OF PROPOSED DOUBLE YELLOW LINE WAITING RESTRICTION

SCALE @ A3:	DESIGN–DRAWN:	DATE:
SEE VIEWPORTS	EC	19/12/2018

PROJECT No:	DRAWING No:
2031	SK02

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE	**Date:** 27 August 2019

Report of Head of Planning	**Contact Officer:** Andy Higham Claire Williams Eloise Kiernan Tel No: 020 8379 2180	**Ward:** Winchmore Hill

Ref: 19/00201/FUL	**Category**: Full Application

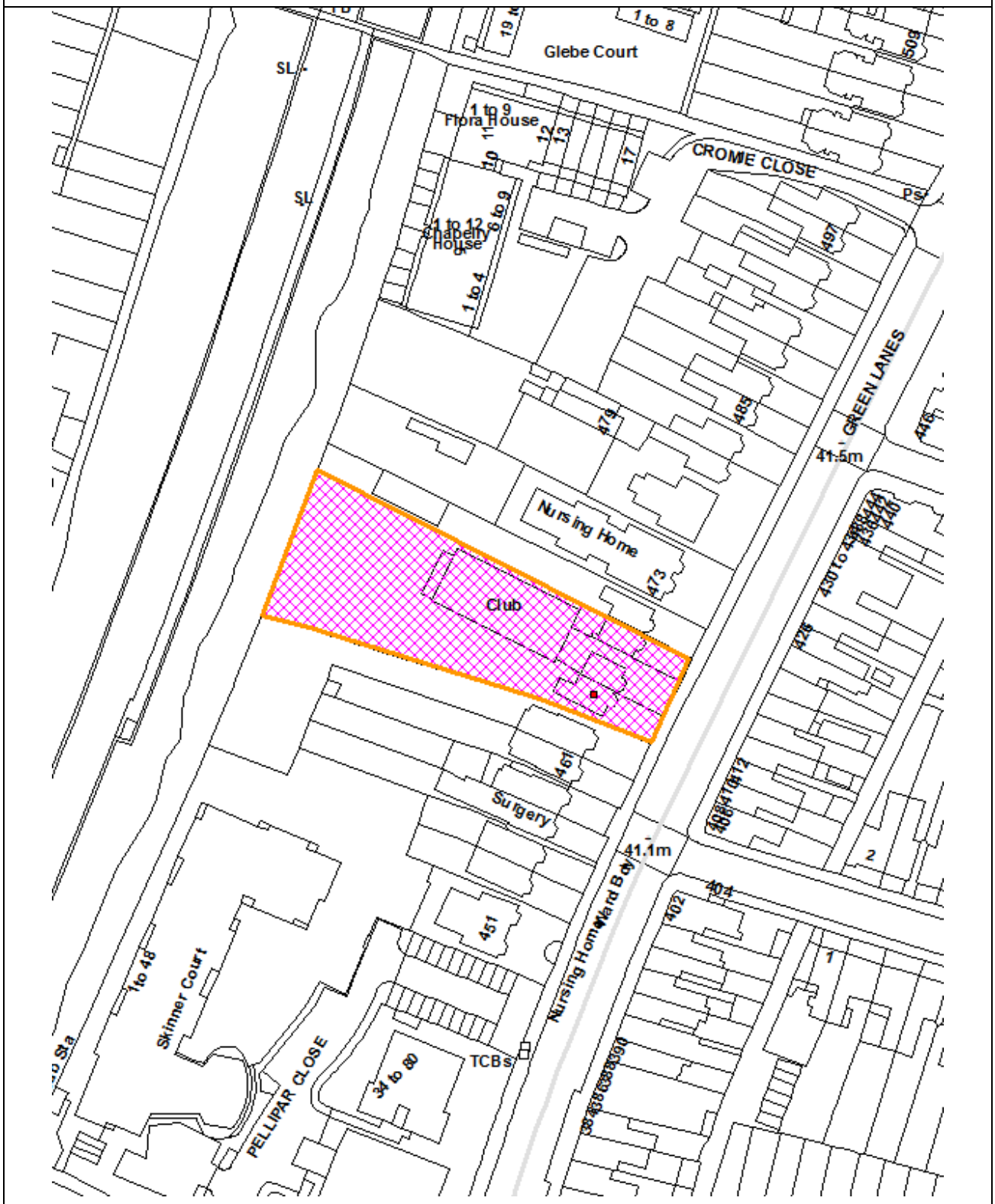
LOCATION: 465-469 Green Lanes, London, N13 4BS

PROPOSAL: Redevelopment of the site to provide 15 residential units (including the re-provision of 1 existing 1 bed flat fronting Green Lanes) comprising 2 individual blocks, Block 1 -Three storey block of 3 flats comprising (1x1 bed, 1x2 bed and 1x3 bed) with balconies to first and second floor and Block 2 a Part 3, Part 4 storey block of 11 flats comprising 4x1 bed, 5x2 bed and 2x3 beds with balconies to front and rear, construction of a new access way off Green Lanes, off street parking, detached Bike/Bin store and associated landscaping.

Applicant Name & Address: Andora Homes Ltd 5 Corbar Close Enfield EN4 0JL United Kingdom	**Agent Name & Address:** Mrs Carolyn Apcar Apcar Smith Planning Kinetic House Theobald Street Borehamwood Herts WD6 4PJ United Kingdom

RECOMMENDATION:
That planning permission be **GRANTED** subject to conditions and the completion of a S106 legal agreement.

Ref: 19/00201/FUL **LOCATION: 465-469 Green Lanes, London, N13 4BS,**



ENFIELD Council

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Scale 1:1250

North

1. Note for Members

1.1 The application has been brought to the Planning Committee because it constitutes a major development scheme. The Planning Committee resolved to grant planning permission subject to the completion of a S106 legal agreement and conditions for an identical scheme on 27 June 2017.

2. Recommendation/Conditions

2.1 That subject to the completion of a S106 legal agreement, the Head of Development Management/Planning Decisions Manager, be authorised to GRANT planning permission subject to the following conditions:

1. Time Limit

The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of the decision notice.

Reason: To comply with the provisions of S.51 of the Planning & Compulsory Purchase Act 2004.

2. Approved Plans

The development hereby permitted shall be carried out in accordance with the approved plans, as set out in the attached schedule which forms part of this notice.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. Materials

Prior to the commencement of development above ground, full details and materials of the external finishing to be used shall be submitted to and approved in writing by the Local Planning Authority. A schedule of materials and their use in the approved scheme is required and samples made available on site. A photograph showing all samples to be inspected must be submitted. The development shall be constructed in accordance with the approved details.

Reason: To ensure a satisfactory external appearance.

4. Contamination

Prior to commencement, a scheme to deal with the contamination of the site including an investigation and assessment of the extent of contamination and the measure to be taken to avoid risk to health and the environment has been submitted to and approved in writing by the Local Planning Authority. Remediation shall be carried out in accordance with the approved scheme and the Local Planning Authority provided with a written warranty by the appointed specialist to confirm implementation prior to the occupation of development.

Reason: To avid risk to public health and environment.

5. Contamination

If during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until the developer has submitted and obtained written approval from the Local Planning Authority for, an amendment to the remediation strategy detailing how this unsuspected contamination shall be dealt with.

Reason: To protect against risks arising from contamination

6. Control of Dust and Emissions

All Non-Road Mobile Machinery (NRMM) of net power of 37kW and up to and including 560kW used during the course of the demolition, site preparation and construction phases shall comply with the emission standards set out in chapter 7 of the GLA's supplementary planning guidance "Control of Dust and Emissions During Construction and Demolition" dated July 2014 (SPG), or subsequent guidance. Unless it complies with the standards set out in the SPG, no NRMM shall be on site, at any time, whether in use or not, without the prior written consent of the local planning authority.
The developer shall keep an up to date list of all NRMM used during the demolition, site preparation and construction phases of the development on the online register at https://nrmm.london/
Reason: To protect local amenity and air quality in accordance with London Plan policies 5.3 and 7.14

7. Surfacing Materials

Prior to the commencement of development above ground, full details of the surfacing materials to be used within the development including footpaths, access roads and parking areas and road markings shall be submitted to and approved in writing by the Local Planning Authority. The surfacing shall be carried out in accordance with the approved detail before the development is occupied or use commences.

Reason: To ensure a satisfactory visual appearance and in the in interests of highways safety.

8. Enclosure

The site shall be enclosed in accordance with details to be submitted to and approved in writing by the Local Planning Authority. The means of enclosure shall be erected in accordance with the approved detail before the development is occupied.

Reason: To ensure satisfactory appearance and safeguard the privacy, amenity and safety of adjoining occupiers and the public and in the interests of highway safety.

9. Landscaping

Prior to the commencement of development above ground, full details (including species, numbers and sizes) of trees, shrubs and grass to be planted on the site shall be submitted to and approved in writing by the Local Planning Authority. The planting scheme shall be carried out in accordance with the approved details in the first planting season after completion or occupation of the development whichever is the sooner. Any planting which dies, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details. The landscaping scheme shall include the following landscaping and biodiversity enhancements:

- Planting plans;
- Written specifications (including cultivation and other operations associated with plant and grass establishment);
- Schedule of plants and trees, to include native and wildlife friendly species and large and large canopy trees in appropriate locations (noting species, planting sizes and proposed numbers / densities);
- Implementation timetables;
- Native and wildlife-friendly plants and trees of local or national provenance;

Reason: To provide a satisfactory appearance and to ensure the development provides the maximum possible provision towards the creation of habitats in accordance with Policies CP36 of the Core Strategy, DMD77, DMD80 and DMD81 of the Development Management Document and Policy 7.19 of the London Plan.

10. Biodiversity

Prior to the commencement of development, a full reptile survey and bat survey and an updated ecological report with details of biodiversity enhancements for the site shall be carried out by a suitably qualified ecologist. The recommendations are to be followed in full. A report detailing the results of the surveys, and the ecologist's recommendations, shall be submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details.

Reason: To minimize the impact of the development on the ecological value of the area and to ensure that the development provides the maximum possible provision towards the creation of habitats and valuable areas for biodiversity in accordance with policies CP36 of the Core Strategy, DMD76, DMD78 and DMD79 of the Development Management Document and 7.19 of the London Plan, as well as the advised outlined within the National Planning Policy Framework and the Biodiversity Action Plan.

11. Trees

Prior to the commencement of development above ground, an Arboricutural Impact Assessment (BS5837:2012) to fully consider the impacts on any existing trees, an arboricultural method statement and a tree protection plan shall be submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details.

Reason: In the interests of visual amenities and to ensure that appropriate landscaping and tree species are retained, as well as ensuring that trees are protected during development, having regard to policies DMD80 and DMD81 of the Development Management Document.

12. Refuse Storage & Recycling Facilities

The development excluding demolition and groundwork shall not commence until details of refuse storage facilities including facilities for the recycling of waste to be provided within the development, in accordance with the London Borough of Enfield - Waste and Recycling Planning Storage Guidance ENV 08/162, have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details before the development is occupied or use commences.

Reason: In the interests of amenity and the recycling of waste materials in support of the Boroughs waste reduction targets.

13. Cycle parking spaces

The development excluding demolition and groundwork shall not commence until details of the siting, number and design of secure/covered cycle parking spaces (26 long stay and 1 short stay) have been submitted to and approved in writing by the Local Planning Authority. This shall include details of cycle storage where possible within the private garden areas on the ground floor in addition to an additional cycle parking storage to the front communal area. The approved details shall thereafter be installed and permanently retained for cycle parking.

Reason: To ensure the provision of cycle parking spaces in line with the Council's adopted standards.

14. Obscured Glazing

The glazing to be installed on the side elevation of Block B shall be in obscured glass with an equivalent obscuration as level 3 on the Pilkington Obscuration Range and fixed to a height of 1.7 metres above the floor level of the room to which they relate. The glazing shall not be altered without the approval in writing of the Local Planning Authority.

Reason: To safeguard the privacy of the occupiers of adjoining properties.

15. Access

The development excluding demolition and ground work shall not commence until full details of the proposed undercroft access including points a – d are submitted to and approved in writing by the Local Planning Authority:

a. Details of the access ramps;
b. The treatment to the front driveway area of Number 469 including details of retaining walls and boundary treatments to 467 and 471 Green Lanes;

c. Details of a Priority/ Waiting arrangement to allow for safe two-way vehicle movement, prioritising vehicles entering the site; and
d. Details of the Pedestrian Access path and its separation from the undercroft vehicular access.

These works shall be carried out in accordance with the approved details before development is occupied or the use commences.

Reason: To ensure that the development complies with Council Policies and does not prejudice conditions of safety or traffic flow on adjoining highways.

16. Construction Methodology

That development shall not commence until a construction methodology has been submitted to and approved in writing by the Local Planning Authority. The construction methodology shall contain:

a. arrangements for wheel cleaning;
b. arrangements for the storage of materials;
c. hours of work;
d. arrangements for the securing of the site during construction;
e. the arrangement for the parking of contractors' vehicles clear of the highway;
f. The siting and design of any ancillary structures; and
g. A construction management plan written in accordance with the 'Mayor of London's supplementary planning guidance 'The Control of Dust and Emissions During Construction and Demolition' detailing how dust and emissions will be managed during demolition and construction work.

The development shall be carried out in accordance with the approved construction methodology unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not lead to damage to the existing highway and to minimise disruption to neighbouring properties and the environment.

17. External Lighting

The development, excluding groundwork and demolition shall not commence until details of any external lighting proposed have been submitted to and approved in writing by the Local Planning Authority. The approved external lighting shall be provided before the development is occupied.

Reason: To ensure that the development does not prejudice the amenities of adjoining occupiers and / or the visual amenities of the surrounding area.

18. Energy Statement

Notwithstanding the submitted energy statement, prior to the commencement of above ground works, an updated energy statement shall be submitted to and approved in writing by the Local Planning Authority. The development shall provide for no less than a 35% reduction on the total CO2 emissions

arising from the operation of a development and its services over Part L of Building Regs 2013.

The location and details of renewable technology to be installed along with the maintenance and management strategy for their continued operation shall be submitted to and approved by the Local Planning Authority.

The development shall be carried out strictly in accordance with the energy statement so approved and maintained as such thereafter.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan and the NPPF.

19. EPC's

Following practical completion of works a final Energy Performance Certificate shall be submitted to and approved in writing by the Local Planning Authority prior to occupation of the development.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met in accordance with Policy CP20 of the Core Strategy, Policies 5.2, 5.3, 5.7 & 5.9 of the London Plan 2011 and the NPPF.

20. SuDS

The development shall not commence until a Sustainable Drainage Strategy has been submitted to and approved in writing by the Local Planning Authority. The details shall be based on the disposal of surface water by means of a sustainable drainage system in accordance with the principles as set out in the Technical Guidance to the National Planning Policy Framework and should be in line with our DMD Policy SuDS Requirements:

a. Shall be designed to a 1 in 1 and 1 in 100 year storm event with the allowance for climate change;
b. Follow the SuDS management train and London Plan Drainage Hierarchy by providing a number of treatment phases corresponding to their pollution potential;
c. Should maximise opportunities for sustainable development, improve water quality, biodiversity, local amenity and recreation value;
d. The system must be designed to allow for flows that exceed the design capacity to be stored on site or conveyed off-site with minimum impact;
e. Clear ownership, management and maintenance arrangements must be established; and
f. The details submitted shall include levels, sizing, cross sections and specifications for all drainage features.

Reason: To ensure the sustainable management of water, minimise flood risk, minimise discharge of surface water outside of the curtilage of the property and ensure that the drainage system will remain functional throughout the lifetime of the development in accordance with Policy CP28 of the Core Strategy and Policies 5.12 & 5.13 of the London Plan and the NPPF and to maximise

opportunities for sustainable development, improve water quality, biodiversity, local amenity and recreation value.

21. SuDS

Prior to occupation of the development, a Verification Report demonstrating that the approved drainage / SuDS measures have been fully implemented shall be submitted to the Local Planning Authority for approval in writing. This report must include:

a. As built drawings of the sustainable drainage systems;
b. Level surveys of completed works;
c. Photographs of the completed sustainable drainage systems;
d. Any relevant certificates from manufacturers/ suppliers of any drainage features;
e. A confirmation statement of the above signed by a chartered engineer.

Reason: To ensure the sustainable management of water, minimise flood risk, minimise discharge of surface water outside of the curtilage of the property and ensure that the drainage system will remain functional throughout the lifetime of the development in accordance with Policy CP28 of the Core Strategy and Policies 5.12 & 5.13 of the London Plan and the NPPF.

22. Electric Parking Bays

The development shall not be occupied until details confirming that i) three electric parking bays will be provided, and ii) all remaining bays (nine) will be passive electric bays. The development shall be carried out in accordance with the approved details and retain in perpetuity unless otherwise agreed with the Local Planning Authority.

Reason: To promote sustainable transport measures and to ensure that the provision is in accordance with London Plan standards.

23. Green Roofs

Prior to the commencement of the superstructure details of a biodiversity (green/brown) roof(s) to be installed shall be submitted to and approved in writing by the Local Planning Authority. The biodiversity (green/brown) roof(s) shall be:

a. Biodiversity based with extensive substrate base (depth 80-150mm);
b. Planted/seeded with an agreed mix of species within the first planting season following practical completion of the building works.

The biodiversity (green/brown) roof shall not be used for any recreational purpose and access shall only be for the purposes of the maintenance and repair or means of emergency escape. Details shall include full ongoing management plan and maintenance strategy/schedule for the green/brown roof to be approved in writing by the Local Planning Authority.

The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To minimise the impact of the development on the ecological value of the area and to ensure the development provides the maximum possible

provision towards the creation of habitats and valuable areas for biodiversity in accordance with Policy CP36 of the Core Strategy, the Biodiversity Action Plan and Policies 5.11 & 7.19 of the London Plan.

24. Site Waste Management Plan

Notwithstanding the approved documents, the development shall not commence until a revised Site Waste Management Plan has been submitted to and approved in writing by the Local Planning Authority. The plan should include as a minimum:

i. Target benchmarks for resource efficiency set in accordance with best practice

ii. Procedures and commitments to minimize non-hazardous construction waste at design stage. Specify waste minimisation actions relating to at least 3 waste groups and support them by appropriate monitoring of waste.

iii. Procedures for minimising hazardous waste

iv. Monitoring, measuring and reporting of hazardous and non-hazardous site waste production according to the defined waste groups (according to the waste streams generated by the scope of the works)

v. Procedures and commitments to sort and divert waste from landfill in accordance with the waste hierarchy (reduce; reuse; recycle; recover) according to the defined waste groups

In addition, no less than 85% by weight or by volume of non-hazardous construction, excavation and demolition waste generated by the development has been diverted from landfill

Reason: To maximise the amount of waste diverted from landfill consistent with the waste hierarchy and strategic targets set by Policy DMD57 of the Development Management Document and Policies 5.17, 5.18, 5.19, 5.20 of the London Plan.

25. Rainwater Recycling System

The development shall not commence until details of a rainwater recycling system has been submitted to and approved in writing by the Local Planning Authority. The details submitted shall also demonstrate the maximum level of recycled water that can feasibly be provided to the development. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To promote water conservation and efficiency measures in all new developments and where possible in the retrofitting of existing stock in accordance with Policy CP21 of the Core Strategy, Policies DMD58 and DMD61 of the Development Management Document and Policy 5.15 of the London Plan.

26. Clearance of vegetation during bird nesting

No areas of hedges, scrub or similar vegetation where birds may nest shall be cleared outside of the bird nesting season (March-August inclusive). Should clearance during the bird-nesting reason be unavoidable, a suitably qualified ecologist shall assess the areas to be removed prior to clearance, and if any active nests are recorded then no further works shall take place until all young have fledged the nest.

Reason: To ensure that wildlife is not adversely impacted by the development, in accordance with policy CP36 of the Core Strategy and the National Planning Policy Framework

27. Considerate Constructors

The development shall not commence until an undertaking to meet with best practice under the Considerate Constructors Scheme and achieve formal certification has been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the implementation of the development does not adversely impact on the surrounding area and to minimise disruption to neighbouring properties.

28. Water Efficiency

Prior to occupation details of the internal consumption of potable water shall be submitted to and approved in writing by the Local Planning Authority. Submitted details will demonstrate reduced water consumption through the use of water efficient fittings, appliances and recycling systems to show consumption equal to or less than 105 litres per person per day as stated in the pre-assessment accompanying the scheme. The development shall be carried out strictly in accordance with the details so approved and maintained as such thereafter.

Reason: To promote water conservation and efficiency measures in all new developments and where possible in the retrofitting of existing stock in accordance with Policy CP21 of the Core Strategy, DMD58 of the Development Management Document and Policy 5.15 of the London Plan.

3. Executive Summary

3.1 This application is identical to planning application reference number 15/05516/FUL. The Planning Committee resolved to grant planning permission subject to the completion of a S106 legal agreement and conditions on 27 June 2017. The decision was issued on 14 August 2018.

3.2 There have been no material changes on the application site and all other aspects of the development remain as per the previously submitted scheme. The key difference is the updated viability assessment, which confirms that an onsite or off-site contribution towards affordable housing would make the proposed development unviable. Officers consider it necessary to secure two review mechanisms through a S106 agreement to capture future affordable housing on the site, having regard to the Major of London's Affordable Housing and Viability SPD. The S106 would also capture a financial contribution towards healthy streets and sustainable transport and education, as well as a business, employment and skills strategy.

3.3 The proposed development is of an acceptable design to integrate satisfactorily within the site and surrounding area. It would contribute an additional 14 units to the Boroughs housing stock, including 3 additional family units within a relatively accessible part of the Borough.

3.4 Having due regard to the updated National Planning Policy Framework, officers have fully reviewed the proposal having regard to biodiversity, landscaping and sustainability and attached appropriate conditions to achieve a highly sustainable form of development within the Borough in line with planning policy requirements.

4. Site and Surroundings

4.1 The application site is 465-469 Green Lanes, London, N13 4BS. The site is located on the western side of Green Lanes a short distance south of the crossroads junction with Hedge Lane and Bourne Hill. The site is predominantly flat lying, rectangular in shape though widens at the rear towards the rail tracks boundary. At present to the front the site consists of three Victorian style properties 465 and 467, a pair of semi-detached properties and 469 which forms the next pair of semi-detached properties with Number 471 Green Lanes, this does not form part of the application site. Number 465-469 appear to be laid out each as 2 residential flats over ground and first floor level. This has been confirmed by lawful development certificates in recent years individually for each property.

4.2 To the rear of 465-469 sits a single storey warehouse style building with a part mezzanine level. From inspections on site this building is dilapidated with the roof having fallen in. The recent planning history on this building show historically it was a snooker club however more recently it has been used as a Private social club and casino but has been closed down in recent years as a result of security and licensing issues. This building was accessed between Number 467 and 469.

4.3 The surrounding area is mixed in nature. This side of Green Lanes is predominantly residential, made up of original houses or properties that are converted into flats. There is an office building next door at Number 471 and the Conifers Nursing home is further north on Green Lanes. To the west the site is bound by the railway line and to the east and west are extensive deep gardens. There is a bungalow towards the end of the rear garden of Number 471 flanking the site to the north.

4.4 The site is not located in a Conservation Area and is not listed. The site has a PTAL rating of 3. The site is not located within a controlled parking zone and it is relatively flat lying. It has a total site area of approximately 2500 sqm or 0.25 hectares. The site is located within a wildlife corridor.

5. Proposal

5.1 The applicant seeks full planning permission for the re-development of the site to provide 15 residential units (including the re-provision of 1 existing 1 bed flat fronting Green Lanes) comprising 2 individual blocks, Block 1 -Three storey block of 3 flats comprising (1x1 bed, 1x2 bed and 1x3 bed) with balconies to first and second floor and Block 2 a Part 3, Part 4 storey block of 11 flats comprising 4x1 bed, 5x2 bed and 2x3 beds with balconies to front and rear, construction of a new access way off Green Lanes, off street parking, detached Bike/Bin store and associated landscaping.

5.2 For access reasons this will involve the demolition of Number 469 for the creation of a vehicular and pedestrian access to the two blocks at the rear.

5.3 Behind the front building line two separate residential blocks of flats are proposed. Block 1 is the smaller block towards the front of the site. This would be mainly 2 storeys high with a recessed third floor level and would accommodate 3 flats (1x1 bed, 1x2 bed and 1x3 bed). This block would be 17m wide with a stepped depth and it would be 8.5m high. It would be set 10m from the rear garden boundary of the original property at Number 465 and a distance of approximately 21 metres from the original rear wall of Number 465. The building would be set 15m obliquely from the rear elevation of Number 463 to the south.

5.4 The second larger block, Block B would be set to the western end of the site closer to the railway line. This block would be part 3 to part 4 storeys in height. It would be 23 metres in width with a stepped front and rear elevation with an average depth of approximately 15 metres. It would be set on average 1.5m from the southern end of the site and 7.5m from the northern end of the site and an average of 5m from the rear western end of the site that flanks the railway line. The building would have a height of 9m for the 3 storey section with the raised parapet and 11.5m to the top of the 4th floor. The building is to be proposed in a mixture of buff brick, render, glazed balconies and aluminium materials.

5.5 In addition to the new proposed access under the undercroft of Number 469 12 car parking spaces are proposed inclusive of 1 disabled space. The remainder of the site would consist of the access road, private and communal garden spaces and landscaped areas in front of both blocks. There would be a single storey building in the northwest corner that would operate provide 26 cycle parking spaces and a refuse store for 4x1100l bins.

5.6 Planning Committee members resolved to grant the original planning permission (reference no. 15/05516/FUL) subject to conditions and a S106 to secure an offsite contribution towards affordable housing, education and local highway works and appropriate conditions on 27 June 2017. The site has since been sold on to Andorra Homes and the resubmission is identical to the approved scheme with the exception of any off site or on site affordable housing provision, and as such the key consideration thereby relates to a reassessment of viability matters, as well as any further considerations pertaining to appropriate contributions in light of the recently revised National Planning Policy Framework (2019).

6. Relevant planning history

6.1 15/05516/FUL - Redevelopment of the site to provide 15 residential units (including the re-provision of 1 existing 1 bed flat fronting Green Lanes) comprising 2 individual blocks, Block 1 -Three storey block of 3 flats comprising (1x1 bed, 1x2 bed and 1x3 bed) with balconies to first and second floor and Block 2 a Part 3, Part 4 storey block of 11 flats comprising 4x1 bed, 5x2 bed and 2x3 beds with balconies to front and rear, construction of a new access way off Green Lanes, off street parking, detached Bike/Bin store and associated landscaping – granted subject to an S106 to secure affordable housing, eduation and highway improvements and appropriate conditions on 14 August 2018.

6.2 P1200069PLA: Change of use from D2 snooker hall to social club /function hall sui generis (RETROSPECTIVE) -Refused and Dismissed at Appeal.

6.3 15/00247/CEU: 465 Green Lanes. Use of premises as two self-contained flats. - Granted 18.03.2015.

6.4 15/00248/CEU: 467 Green Lanes. Use of premises as two self-contained flats - Granted 18.03.2015.

6.5 15/00249/CEU: 469 Green Lanes. Use of premises as two self-contained flats - Granted 20.05.2015.

7. Consultation

7.1 Statutory and non-statutory consultees

Internal

7.2 Traffic and Transportation – No objection subject to conditions and a s106 agreement securing financial contribution towards highway works.

7.3 Environmental Health - No objection subject to conditions.

7.4 Housing - A minimum of 6 units should be provided towards affordable housing, 4 as social or affordable rent and 2 as intermediate.

7.5 SuDS –No objection subject to the submission of further information through a condition.

7.6 Tree officer –No objection raised subject to additional information.

External

7.7 Thames Water - No objection.

7.8 Environment Agency - No objection.

Public

7.9 The 21 day public consultation period started on the 19th February 2019 and concluded on the 12th March 2019. Site notices were posted close to the site on 5 March 2019. The application was also advertised in the local paper. There were no comments received from any members of the public.

8. Relevant Planning Policies

8.1 Development Management Document

DMD1	Affordable Housing on site capable of providing 10 or more units.
DMD3	Providing a Mix of Different Sized Homes
DMD6	Residential Character
DMD7	Development of garden land
DMD8	General Standards for New Residential Development
DMD9	Amenity Space
DMD10	Distancing
DMD37	Achieving High Quality and Design-Led Development
DMD47	New Roads, Access and Servicing
DMD49	Sustainable Design and Construction Statements

DMD50 Environmental Assessment Methods
DMD51 Energy Efficiency Standards
DMD60 Assessing Flood Risk
DMD61 Managing Surface Water
DMD64 Pollution Control and Assessment
DMD68 Noise
DMD69 Light Pollution
DMD76 Wildlife Corridors
DMD77 Green Chains
DMD78 Nature Conservation

8.2 Core Strategy

SO2 Environmental sustainability
SO4 New homes
SO5 Education, health and wellbeing
SO8 Transportation and accessibility
SO10 Built environment
CP2 Housing supply and locations for new homes
CP3 Affordable housing
CP4 Housing quality
CP5 Housing types
CP6 Meeting particular housing needs
CP8 Education
CP9 Supporting community cohesion
CP16 Taking part in economic success and improving skills
CP20 Sustainable energy use and energy infrastructure
CP21 Delivering sustainable water supply, drainage and sewerage infrastructure
CP22 Delivering sustainable waste management
CP24 The road network
CP25 Pedestrians and cyclists
CP28 Manging flood risk through development
CP30 Maintaining and improving the quality of the built and open environment
CP32: Pollution
CP36 Biodiversity
CP46 Infrastructure Contribution

8.3 London Plan (2016)

3.3 Increasing housing supply
3.4 Optimising housing potential
3.5 Quality and design of housing development
3.6 Children and young people’s play and informal recreation facilities
3.8 Housing choice
3.9 Mixed and balanced communities
3.10 Definition of affordable housing
3.11 Affordable housing targets
3.12 Negotiating affordable housing on schemes
3.13 Affordable housing thresholds
4.1 Developing London’s economy
4.4 Managing industrial land and premises
5.1 Climate change mitigation
5.2 Minimising carbon dioxide emissions
5.3 Sustainable design and construction
5.7 Renewable energy

5.8 Innovative energy technologies
5.10 Urban greening
5.11 Green roofs and development site environs
5.13 Sustainable drainage
5.14 Water quality and wastewater infrastructure
5.15 Water use and supplies
5.16 Waste self sufficiency
6.3 Assessing the effects of development on transport capacity
6.9 Cycling
6.12 Road network capacity
6.13 Parking
7.1 Building London's neighbours and communities
7.2 An inclusive environment
7.3 Designing out crime
7.4 Local character
7.5 Public realm
7.6 Architecture
7.19 Biodiversity and access to nature
7.21 Trees and Woodland

8.4 Other Relevant Policy

- National Planning Policy Framework (2019)
- National Planning Practice Guidance (2019)

8.5 Other Material Considerations

- The Mayors Housing Supplementary Planning Guidance (2016)
- Section 106 Supplementary Planning Document (SPD) (2016)
- Enfield Strategic Housing Market Assessment (2015)
- Nationally Described Space Standards
- Mayor of London's Affordable Housing and Viability Supplementary Planning Document (SPD) (2017)
- The Draft London Plan (published on 29 November 2017)

9. Analysis

9.1 The main issues for consideration regarding this application are as follows:

- Principle of the Development;
- Scale and Density;
- Design and Impact on the Character of the Surrounding Area;
- Neighbouring Residential Amenity;
- Standard of Accommodation and Proposed Mix of Units;
- Private Amenity provisions;
- Traffic, Parking and Servicing Issues;
- Contamination;
- Affordable Housing and other S106 Contributions;
- Sustainable Design and Construction;
- Trees and Biodiversity; and
- Sustainable Drainage Systems (SuDS).

9.2 Principle of the Development

9.2.1 Policy DMD 7 states that the Council seeks to protect and enhance the positive contribution gardens make to the character of the Borough. Development on garden land will only be permitted if all of the following criteria are met:

a. The development does not harm the character of the area
b. Increased density is appropriate taking into account the site context in terms of its location, accessibility and the provision of local infrastructure;
c. The original plot is of a sufficient size to allow for additional dwellings which meet the standards in DMD 8 'General Standards for New Residential Development', (and other design policies);
d. The individual plot sizes, orientation and layout created are appropriate to, and would not adversely impact on the residential amenity within the development, or the existing pattern of development in that locality;
e. An adequate amount of garden space is retained within both of the individual plots in accordance with the minimum amenity space standards (DMD 9 'Amenity Space'), and the role of each space is enhanced to contribute towards other plan objectives such as biodiversity; green corridors and networks; flood risk; climate change; local context and character; and play space
f. The proposals would provide appropriate access to the public highway.

9.2.2 The proposal involves development within a backland location. Policy DMD7 highlights the importance that gardens make to the contribution of the character of the borough. However, in this instance the site has previously been developed and the dilapidated building remains in place. In addition, at approximately 2500 sqm it is a substantial site that is capable of accommodating development. The gardens of properties to the north have been developed in various ways, including the existing bungalow, as such the proposal would not disturb the character and appearance. No. 469 Green Lanes currently serves as 2 x 1-bed flats; however one flat would be replaced as well as a net gain of 14 residential units, including four family units within a relatively accessible location within Palmers Green. On that basis, the principle of development is therefore considered acceptable subject to further considerations as outlined below.

9.2.3 Additionally, it was noted that this is the resubmission of an identical scheme ref. 15/05516/FUL, which the Planning Committee resolved to grant planning permission in June 2017. The previously granted scheme thus is a material consideration with appropriate weight, however additional regard must be given to any other relevant matters such as any material change in policy direction during this time, which includes the revised National Planning Policy Framework (2019).

9.3 Density and Scale

Density

9.3.1 Density assessments must acknowledge new guidance outlined in the NPPF and particularly the London Plan, which encourage greater flexibility in the

application of policies to promote higher densities, although they must also be appropriate for the area.

9.3.2 Policy 3.4 (Table 3.2) of the London Plan sets standards for appropriate density levels with regards to location, existing building form, massing, and having regard to the PTAL (Public Transport Accessibility Level) score. From assessment of the plans, it is considered a total of 40 habitable rooms would be provided on the site. In addition to this there would be 5 existing 1 bed flat in the original properties to the front retained which would include for an additional 10 habitable rooms. The site area which is of 0.25 hectares. According to the guidance in (Table 3.2) of the London Plan as the site has a site specific PTAL rating of 3 in a suburban location, an overall density of between 150-250 hr/ha and 35-65u/ha may be acceptable. Upon calculating the density of the proposed development against this density matrix, based on habitable rooms per hectare this development would equate to 200 hr/ha and 56u/ha, which fall within the specified range.

9.3.3 Therefore these results show that from a density perspective this proposal would be mid-range and thereby within a recognisable density threshold for the area.

9.3.4 However, density should be considered alongside other planning requirements such as suitability of the site, scale of building/s and standard and quality of accommodation proposed. In this case due to the tightness of the site neighbouring amenity would also be a primary consideration.

9.4 <u>Scale, Design, Character and Impact on the Surroundings</u>

9.4.1 The application proposes two blocks, Block 1 being a part 2, part 3 storey building of 3 flats and Block 2 a part 3, part 4 storey building to accommodate 11 flats.

9.4.2 The previous scheme involved several revisions to improve the overall design in regard to the proposed bulk, scale and prominence of the fourth floor, the original large hipped roof and the fact the original application sought to leave a gap in the front Green Lanes street scene.

9.4.3 These matters were addressed and have been retained within the design of the current scheme. This scheme does not seek to make any changes to the design of the scheme. The scheme proposes a contemporary design concept with a recessed cladded 3rd and 4th floor levels to reduce bulk and height of the buildings within the street scene at Green Lanes. Additionally, the overall design to no. 469 incorporates the original Victorian façade including hipped roofline to integrate satisfactorily and provide a frontage within the established street scene.

9.4.4 Additionally, the two rear blocks again feature a contemporary appearance of an acceptable scale, bulk and massing. It is therefore concluded that from a design perspective, the buildings are appropriately designed to fit into the context of the site. Additionally, the contrast in materials between brick, render, the metal cladding, glazed balconies and aluminium would allow for

both blocks to have an acceptable appearance and create an element of visual interest.

9.4.5 From the perspective of scale it is considered that Block 1 is comparable in scale to the other buildings in the area. Block B to the rear of the site is a large building for a backland location standing at 4 storeys in height. However due regard is given to the site's expansive depth and width, the scale of neighbouring rear gardens and existing back land development. As outlined below it is considered that the site could accommodate the development without detrimentally impacting upon neighbouring amenities. The building is located at the furthest most end of the site and is reasonably well set in from neighbouring common boundaries and set at a distance in excess of 45 metres from the rear elevation of Number 463 and in excess of 50m from the rear elevation of Number 463.

9.4.6 In addition from the perspective of the front street scene it is considered that both proposed blocks would have a relatively limited impact on the Green Lanes street scene, due to the fact that the first-floor level of no. 469 is being re-provided and as such both blocks would be essentially screened from view within the front street scene.

9.4.7 In conclusion, the proposed design, scale and character are considered acceptable as it would integrate acceptably into the adjoining locality and the Green Lanes street scene having regard to policies DMD6, 8 and 37, CP30 of the Core Strategy and London Plan policies 7.4 and 7.6.

9.5 <u>Neighbouring Amenity</u>

9.5.1 From the perspective of neighbouring amenity, it is considered that the key properties impacted on by the development would be the original properties at no's 463-469 Green Lanes and no. 471a Green Lanes (bungalow in rear garden of no. 471).

9.5.2 Policy 7.6 of the London Plan states that developments should have appropriate regard to their surroundings, and that they improve the environment in terms of residential amenity. Policy CP30 of the Enfield Core Strategy seeks to ensure that new developments are high quality and design-led, having regards to their context. They should help to deliver Core Strategy policy CP9 in supporting community cohesion by promoting attractive, safe, accessible and inclusive neighbourhoods. Policy DMD8 states that new developments should preserve amenity in terms of daylight, sunlight, outlook, privacy, overlooking, noise and disturbance.

Original Properties 463-469 Green Lanes

9.5.3 Whilst 465-469 are within the applicant's ownership the impact on the amenity of future residents remains a consideration. From the back of Block 1 there is a distance of 10m to what will be formed as a new rear garden boundary serving Number 465 and 467. In addition to this the distance between rear facing windows is approximately 21m and overall it is considered there is adequate distance to ensure upon sufficient privacy between facing windows.

Officers are satisfied that it has an acceptable relationship with these properties.

9.5.4 Number 463 adjacent to the application site has a slightly deeper outrigger resulting in a separation distance of approximately 16 metres between Block 1 and Number 463. However, this would be set obliquely at an angle to Block 1 and it is considered there would be sufficient privacy retained. Block 1 would be set at distances of 1.2m and 3m away from the rear garden boundary or Number 463. Whilst this would normally represent an imposing structure in most instances due to the expansive depths and width of the gardens that are backing on from these properties there is a considerable sense of space and openness, having examined the relationship on site and the separation of Block 1 from the rear of Number 463, it considered that there would not be an unacceptable impact on the amenity of the occupiers having regard to policies DMD6, DMD8 and DMD10 of the DMD. There are no side facing windows on Block 1 to create unacceptable overlooking onto the rear garden of no. 463.

9.5.5 At the western furthest end of the site Block 2 is set stepped at an average distance of 1.5m from the rear garden boundary of no. 463 Green Lanes and at a distance in excess of 40m from the rear facing wall of no. 463. As referred to earlier in the report regard is given to the fact that at 4 storeys in height within this backland location, this building is relatively large. However due to the sense of space, depth, width and relationship between the plots it is considered this building can be acceptably accommodated on this site. Having assessed this proposal on site and given the fact that it is close to the rear garden boundaries, at the distance in excess of 40m away from no. 463 it is considered that enough of space and distancing is created so Block B would not unacceptably overlook or become too overbearing onto the rear garden of no. 463. At present similar to many properties on this section of Green Lanes, no. 463 appears to be split in flats. The garden to the rear is substantial and stretches down towards the railway lines alongside no. 465 and then doglegs to the left towards Skinners Court to the south. It is a very substantial garden area however is relatively unkempt, overgrown and it appears that only the immediate patio area to the rear of no. 463 is used. Whilst this would not be a determining factor, officers have analysed the application thoroughly on site and overall the impact onto no. 463 and the expansive rear garden is considered acceptable on balance.

471a Green Lanes - Bungalow in rear garden of Number 471

9.5.6 No. 471a is unusual in its setting in that it is a standalone bungalow house set to the rear of no. 471 Green Lanes. It appears to be accessed via the side of Green Lanes and from examinations on site appears to be in residential use. There does not appear to be any planning history on record but from checking mapping and aerial records it appears to have been in place for a number of years and for the purposes of this application it has been regarded as a lawful structure. This single storey bungalow is sandwiched in between the application site and the Conifers nursing home to the north and is positioned towards the lower end of the site approximately 30m down the garden. From

examinations on site the occupants appear to use the area to the front and rear of the bungalow as amenity space.

9.5.7 Due to the separation distance, Block 1 would have a limited and acceptable impact.

9.5.8 Block 2 would be set 7.5m from the side boundary with no. 471a Green Lanes at part three, part four stories in height. Officers have examined this relationship on site and it is considered the impact is acceptable. There are no side facing windows in Block 2 that would create privacy issues to the south facing windows on no. 471a and all windows in Block 2 with the exception of one ground level hall window are facing east-west 90 degrees away from no. 471a. Block 2 would be more visually prominent in terms of outlook from these ground level windows, however at the moment the outlook from these windows is onto a high boundary line and therefore poor at present. Whilst Block 2 would be obviously visible from these windows there is a considerable gap between Blocks 1 and 2 and in addition to the distance that Block 2 is set away from the boundary overall officers are satisfied there is an acceptable impact in terms of outlook onto the occupiers of no. 471a. Similarly, whilst Block 2 in particular would be visibly noticeable from the rear and front garden areas of no. 471a, it is considered it is adequately positioned away from the boundary line of this property to not appear too visually imposing. Regarding daylight and sunlight whilst Block B has the potential to block some sunlight from these south facing windows it would only be for a relatively short period in the late afternoon. The proposed buildings are set far enough away and there is sufficient gap between Blocks 1 and 2 and to the rear of Block 2 to allow enough direct light into no. 471 Green Lanes.

9.5.9 The communal bin and cycle store is proposed to the rear of no. 471a. However, there is a slight drop in ground levels of about 300mm at this section of the site with no. 471a sitting at a higher land level. As a result, the eaves level of this store would be approximately 2m on the boundary line with a low level hipped roof that slopes away. Having examined this relationship on site it is considered there is an acceptable impact from this structure onto the amenities of the occupiers of no. 471a.

9.5.10 In conclusion all factors considered the proposal has an acceptable impact in terms of neighbouring amenity to all adjoining occupiers.

9.6 <u>Standard of Accommodation and Proposed Mix of Units</u>

Standard of Accommodation

9.6.1 Policy 3.5 of the London Plan 2016 and Policies DMD 5 and DMD 8 of the Development Management Document (2014) set minimum internal space standards for residential development. The Nationally Described Internal Space Standard applies to all residential developments within the Borough and the London Plan Housing SPG adopted in 2016 reflects the Nationally Described Space Standards.

9.6.2 The application proposes 5x1bed, 6x2 bed and 3x3 bed flats, 14 in total, in addition to the re-provision of the 1 bed flat at first floor level within no. 469.

9.6.3 Policy 3.5 of the London Plan specifies that 1 bed flats should have a minimum floor area of 50sqm, 2 bed flats should have a minimum internal floor area of 61 square metres, with 2 bed 4 persons at 70sqm, 3b4p flats at 74 sqm or 3b6p flats at 86 sqm. All units have been measured and verified and are above the required London Plan standards for the respective units. All units would have useable, flexible and accessible layouts and all room sizes are acceptable with regards to living/diners and single and double bedrooms. All units would be dual aspect and a second stair core has been added to accommodate better individual access but also to facilitate the dual aspect units. All units would have adequate outlook, provision of natural light and good levels of privacy.

9.6.4 Additionally, the one bedroom flat to be re-provided at first floor level would be a like for like replacement of the existing 1 bed first floor flat. This arrangement is considered acceptable.

Housing Mix

9.6.5 DMD 3 and Policy 5 of the Core Strategy seeks new development to incorporate a mix of dwelling types and sizes to meet housing needs in the Borough.

9.6.6 The Council's dwelling mix ratios are as follows:

1 and 2-person flats - 20%
2 bed flats - 15%
3 bed houses - 45%
4 + bed houses - 20%

9.6.7 The development provides the following dwelling mix:

5 x 1b2p (35%)
6 x 2b (1 x.2b3p and 5 x 2b4p) (combined 42%)
3 x 3b 4 or 5p (23%)

9.6.8 Having regard to the access requirements and the building envelope, 3 family units are considered to fit comfortably into the scheme, having regard to the confines of the site and the numbers of flats that could be reasonably accommodated at each respective floor. Additionally, 5 x 2 bed 4 person flats are proposed as part of the scheme which could feasibly accommodate smaller families, one of these units would also have direct access to the rear garden area.

9.6.9 It is therefore considered that the proposed mix of units and standard of accommodation are considered acceptable, having regard to adopted policies.

9.7 <u>Private Amenity</u>

9.7.1 Policy DMD9 specifies the requirements for private and communal amenity space for such developments.

9.7.2 Each of the proposed flats would be served by its own private amenity areas. The ground floor flats would benefit from their own policy compliant rear gardens along with front facing terraces. The remaining 10 flats would benefit from individual terraces and balconies all of which are policy compliant having

regard to Policy DMD9. A communal garden area of 100sqm in area is also proposed as part of the development.

9.7.3 The amenity provisions proposed are therefore considered acceptable, having regard to policy DMD9 of the DMD.

9.8 Traffic and Transportation

9.8.1 Policy DMD 45 seeks to minimise car parking and to promote sustainable transport options. The Council recognises that a flexible and balanced approach needs to be adopted to prevent excessive car parking provision while at the same time recognising that low on-site provision sometimes increases pressure on existing streets.

9.8.2 The proposed 12 car parking spaces for the additional 14 flats taking into account the moderate PTAL rating of 3 within the area and the reasonable access to public transport is acceptable. This would represent a parking ratio of 86%. It is acknowledged that the existing forecourt parking would be lost to accommodate the new undercroft access, however only 1x1 bedroom flat is to be re-provided over the undercroft and in this instance the lack of car parking is considered acceptable. Additionally, one disabled parking space and three electric bays should be provided and secured by appropriate condition. The proposed parking spaces meet the specified standard of 4.8m x 2.4m and the proposed layout of the spaces would allow vehicles to access and egress in a forward gear, which is considered acceptable.

9.8.3 With regards to access the property (front of No.469 Green Lanes) already has a dropped kerb that can be retained to accommodate vehicle crossover into the site. The proposed vehicle undercroft is 4.8m wide which is acceptable for a single vehicle exit and entrance point. This would not allow for 2 way vehicle movement, however it is considered that a priority waiting restriction can be put in place at the rearmost end of the undercroft, where the access road widens out to 6m in width. This could prioritise vehicles entering the site over those exiting to avoid any congestion for cars entering the site from Green Lanes. This can be dealt with via planning condition in addition to the exact details of the undercroft, retaining walls and treatment to the front of the site to allow for the access. Turning to pedestrian access, this measures approx. 1.50m wide, which is considered acceptable given site constraints, and is in line with Manual for Streets guidance. There is proposed pedestrian access throughout the site although it is noted that footways are not shown to the western side units. This is due to the lack of width available to maintain the 6.0m turning space for vehicles, however there is still an opportunity to provide overrun areas to improve the environment for pedestrians. These should be secured by an appropriate condition, however details will be clarified with Traffic and Transportation and verbally updated at Planning Committee.

9.8.4 Additionally, in line with the London Plan (March 2016), 20% of the total parking spaces should be provided as active electric vehicle (EV) charging points; with a further 20% (2.4 spaces) passive EV charging spaces. This level of provision should be distributed across the whole parking area.

9.8.5 From assessing the proposed Autotrack plans, vehicular access for the councils refuse truck and a fire engine can also be achieved. Refuse vehicles can access and turn within the site, confirmed by the Autotrack plans submitted in the TA for a large refuse vehicle. The refuse storage is located to the rear of

the site in the large turning head provided for the refuse vehicle. It is acknowledged that this is not the most efficient use of the hard standing, however it would allow easy and safe refuse collection.

9.8.6 The location and number of bins to the rear of the site within the turning head, and cycle storage in general is considered acceptable. Additionally, the site would provide a total of 26 bike spaces with a visitor space. The provision of 13 double stacked spaces is considered acceptable, although there should be one short stay space provided as well, however this could be secured by an appropriate condition.

9.8.7 Having regard to the Councils approach to mitigate against an increase in vehicular, cycle, and pedestrian trips generated by the development, a S106 contribution towards sustainable transport and healthy streets would be required. This would be used for resident's membership upon occupation for car club, oyster card, Cycling Campaign membership, and administration/promotional materials, and is based on the number of units and bedrooms.

9.8.8 Additionally, as mentioned above, there may be a requirement for "keep clear" markings across the access. These could be implemented via either S278 or by LBE Highways. These options, and the requirement, should be clearly set out in the S106 Agreement, however, will be further discussed with highway officers and verbally reported at Planning Committee.

9.8.9 Subject to the aforementioned conditions and S106 contributions towards highway works and health streets, the application is considered acceptable from a highway perspective.

9.9 <u>Contamination</u>

9.9.1 The revised NPPF refers to the need to enhance the natural and local environment by remediating and mitigating despoiled, degraded, derelict, contaminated and unstable land, where appropriate.

9.9.2 Having regard to past uses at the site, there is the potential for contamination at the site, which could pose a potential risk to human health. Environmental Health were consulted and have no objections to the proposed development subject to appropriate conditions to deal with the potential for contamination at the site as well as the control of dust and emissions, having regard to policies 5.3 and 7.14 of the London Plan, DMD64 of the DMD and CP32 of the Core Strategy.

9.10 <u>s106 Contributions</u>

9.10.1 Policies 8.1 and 8.2 of The London Plan (2016) seek to ensure that development proposals make adequate provision for both infrastructure and community facilities that directly relate to the development. Developers will be expected to meet the full cost of facilities required as a consequence of development and to contribute to resolving deficiencies where these would be made worse by development. In accordance with the S106 SPD and the comments received in respect of this application, the development should

Affordable Housing

9.10.2 Having regard to policies DMD1 of the Development Management Document and CP3 of the Core Strategy, as the site is proposing 10 or more units (14 and re provision of one existing unit) it should be complying with a borough wide target of achieving 40% affordable housing and a mix of tenures to reflect a borough wide target of 70% social rent and affordable rent and 30% Intermediate. This would reflect 6 units on this site as affordable housing.

9.10.3 The previous scheme ref. 15/05516/FUL was granted subject to a S106 legal agreement, which included an offsite contribution of £570,800 towards affordable housing following the assessment of a viability statement.

9.10.4 Since the previous planning permission was granted, the site has since been sold on and subsequently purchased by Andora Homes. As part of the application, the applicant has submitted a revised viability assessment, which concludes that the scheme would not be viable to contribute towards on-site affordable housing nor an off-site site contribution. The submitted report sets out that the residual land value is lower than the agreed benchmark value and therefore the landowner would not release the land for development.

9.10.5 Policy DMD1 states that affordable housing negotiations should take into account a number of issues including development viability. The viability assessment was independently reviewed and assessed by an independent and experienced commercial consultant, BNP Paribas, and concluded that the submitted appraisal is robust, and a financial contribution or on site provision of affordable housing would make the scheme unviable. This is due to an increase in build costs and changes to the site value benchmark. It has also been acknowledged that the existing clubhouse which is in a poor, dilapidated condition would require significant expenditure in order for the building to be in a lettable condition.

9.10.6 Although no affordable housing would be secured at this moment in time due to viability issues, to enable affordable housing to potentially be secured on site or through a financial contribution, an early and late stage review mechanism will be secured through a s106 agreement in line with the Mayor of London's Affordable Housing and Viability SPD. The approach to review mechanisms has been designed to assess changes in gross development values and build costs. The heads of terms for the S106 will include an early review that will be triggered if an agreed level of progress on implementing the permission has not been reached after two years of the planning permission being granted or as a time agreed with the LPA. The aim of an early review is to incentivise delivery of the development. A late stage review will be triggered once 75% homes are sold or let or at a point agreed by the LPA. The benefits of late stage reviews are that they are based on values achieved and costs incurred. The outcome of a late stage review will typically be a financial contribution towards off site affordable housing contribution.

Employment Skills

9.10.7 Having regard to the Councils Section 106 Supplementary Planning Document (November 2016), it is considered that appropriate regard towards Business, Employment and Skills are required.

9.10.8 Discussions are being undertaken with the relevant department, and an appropriate employment and skills strategy will be required and secured by S106, however appropriate details will be verbally reported at Planning Committee.

Education Contributions

9.10.9 Having regard to policy CP46 of the Core Strategy and the councils S106 SPD, this application would also be required to provide education contributions towards local schools in the area.

9.10.10 This application proposes 14 units which would equate to a contribution of £35,490 towards off site education contributions.

Other S106 Contributions/ Head of Terms

9.10.11 Following a review of the viability of the scheme in addition to the S106 allowance for education and Mayoral and borough CIL, a contribution towards healthy streets and sustainable transport is considered appropriate. However, the finite details of this will be agreed with highways officers and incorporated into the final S106 Agreement and further details of the amount required would be verbally reported at Committee.

9.10.12 Additionally, a S106 Management fee would be required, in line with the S106 SPD. The fee will be used for S106 administration, monitoring and management purposes only.

9.11 Sustainable Design and Construction

9.11.1 The revised National Planning Policy Framework (2019) places an increased emphasis on responding to climate change, having regard to long-term implications for flood risk, coastal change, water supply, biodiversity and landscape, and the risk of overheating from rising temperatures. New development can help to reduce greenhouse gas emissions, such as through its location, orientation and design. Any local requirements for the sustainability of buildings should reflect the Government's policy for national technical standards and increase the use and supply of renewable and low carbon energy and heat. The NPPF states that even small-scale projects provide a valuable contribution to cutting greenhouse gas emissions.

9.11.2 Policy DMD49 states that all new development must achieve the highest sustainable design and construction standards having regard to technical feasibility and economic viability. An energy statement in accordance with Policies DMD49 and 51 is required to demonstrate how the development has engaged with the energy hierarchy to maximise energy efficiency.

9.11.3 The London Plan adopts a presumption that all developments will meet carbon dioxide emission reductions that will improve upon 2010 Building Regulations, leading to zero carbon residential buildings from 2016. Policy 5.2 establishes a target for 2013 to be a 35% improvement over Part L of current Building Regulations

9.11.4 It was noted that an Energy and Sustainability Statement (dated 12 November 2015) has been submitted, however as this was prepared in 2015,

it is considered out of date and therefore an appropriate condition would be attached to secure a revised Energy Statement in light of the updates to the National Planning Policy Framework.

9.11.5 Policy DMD52 all major development should connect to or contribute towards existing or planned decentralised energy networks (DEN) supplied by low or zero carbon energy. Proposals for major development which produce heat/ and or energy should contribute to the supply of decentralised energy networks unless it can be demonstrated that this is not technically feasible or economically viable. It is noted that there may be the possibility for the site to connect to a planned decentralised energy network such as Ladderswood or Meridian Water. However, internal discussions are being undertaken with the relevant department and an update will be verbally reported at Planning Committee.

9.11.6 Policy DMD55 requires all development to maximise the use of roof and vertical surfaces for Low and Zero Carbon Technology / Living Walls / Green Roofs. A condition will be attached to any permission.

9.11.7 Policy DMD58 (Water Efficiency) expects new residential development, including new build and conversions, will be required to achieve as a minimum water use of under 105 litres per person per day. This could be secured by an appropriate condition.

9.12 <u>Biodiversity and Trees</u>

9.12.1 The revised National Planning Policy Framework (2019) has referred to biodiversity and specifies that all new development should be planned to avoid increased vulnerability to the range of impacts arising from climate change. When new development is brought forward in areas which are vulnerable, care should be taken to ensure that risks can be managed through suitable adaptation measures, including through the planning of green infrastructure. Additionally, it states the need to enhance the local environment by minimising the impacts on and providing net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures.

9.12.2 Policy CP36 of the Core Strategy states that the Council will seek to protect, enhance, restore or add to biodiversity interests within the Borough, including parks, playing fields and other sports spaces, green corridors, waterways, sites, habitats and species identified at a European, national, London or local level as being of importance for nature conservation. The site is located within a wildlife corridor and policy DMD76 of the DMD states that development that falls within or abuts a wildlife corridor will only be permitted if the proposals protect and enhance the corridor.

9.12.3 It is noted that an Ecological Report (July 2015) has been provided which includes an extended Phase 1 Habitat Survey. The survey specifically refers to the need for bat and reptile surveys, as well as an Ecological Mitigation Plan to increase habitat opportunities across the site for both protected and non-protected species. The Ecological Survey refers to the incorporation of underground bumble bee boxes, bird boxes, insect hotels, a stag beetle logger at the site as well as the requirement for bat surveys and a full reptile survey. The proposal would include the demolition of an existing building and snooker hall. There are suspected bat roosts of unknown type and bats could

also be using the west of the site to commute along the railway line. It is considered that an appropriate condition is required to include a revised Ecological Report and the specified bat and reptile surveys to safeguard the existing wildlife at the site. An appropriate condition would also be attached to secure a green/brown roof to enhance the biodiversity at the site.

9.12.4 The Councils tree officer has stated that there are a large number of trees on and off-site that may provide constraints to this development. Policies DMD80 and DMD81 of the Development Management Document refer to trees on development sites. It is noted that these matters were not identified within the previously granted scheme, however trees are a significant material consideration to all development applications and thus appropriate conditions have been attached relating to an Arboricultural Impact Assessment to standard BS5837:2012 and landscaping to provide adequate greenery and safeguard existing trees on site where applicable.

9.13 Sustainable Drainage System (SuDS)

9.13.1 The revised NPPF states that all major developments should incorporate sustainable drainage systems unless there is clear evidence that this would be inappropriate. The systems used should:

a) Take account of advice from the lead local flood authority;
b) Have appropriate proposed minimum operational standards;
c) Have maintenance arrangements in place to ensure an acceptable standard of operation for the lifetime of the development; and
d) Where possible, provide multifunctional benefits.

9.13.2 Policy DMD61 of the DMD specifies that a drainage strategy would be required for all developments to demonstrate how proposed measures manage surface water as close to its source as possible and follow the drainage hierarchy in the London Plan. All development must maximise the use of, and where possible, retrofit Sustainable Drainage Systems (SuDS).

9.13.3 The Councils SuDS officer provided comments relating to drainage and further details have been secured by appropriate conditions, having regard to policies CP28 of the Core Strategy, DMD60 and DMD61 of the DMD and 5.12 & 5.13 of the London Plan as well as the advice contained within the NPPF.

9.14 CIL

9.14.1 The development shall pay the following CIL contributions upon commencement of development. The size of the proposed development would be liable to a Community Infrastructure Levy contribution as the size exceeds 100 sq.m. The net gain of the new created floor area is 912 sq.m, inclusive of the 14 units and the communal staircase area.

Mayoral CIL

9.14.2 The Mayoral CIL is collected by the Council on behalf of the Mayor of London. The amount that is sought is for the scheme is calculated on the net increase of gross internal floor area multiplied by the Outer London weight of £60 together with a monthly indexation figure. It is noted as of the 1st of April 2019 Mayoral CIL has increased to £60/m².

9.14.3 This would result in a Mayoral CIL contribution of 912 sq.m x £60 = £54,720 x 336/223 (BCIS CIL Index Formula) = £82,448.07.

9.14.4 On April 2016, the Council introduced its own CIL. The money collected from the levy (Regulation 123 Infrastructure List) will fund rail and causeway infrastructure for Meridian Water.

9.14.5 This would result in a Borough CIL contribution of 912 sq.m x £120 = £109,440 x 283/336 (BCIS CIL Index Formula) = £92,177.14.

7. Conclusion

7.1 The proposed development would have an acceptable impact to the character and appearance of the site and surrounding area as well as an acceptable relationship with adjoining neighbours. It would provide for 3 additional family units and 14 additional residential units in a relatively accessible part of the borough.

7.2 The proposed development would not be detrimental to neighbouring amenity or have an unacceptable impact on highway function and safety. The proposed development would improve biodiversity and sustainable construction to mitigate and adapt towards climate change.

7.3 Subject to appropriate conditions and the completion of a S106 Legal Agreement which will include review mechanisms to capture any potential increase in affordable housing on the site, it is recommended that planning permission is granted.

APCAR SMITH PLANNING

Chartered Town Planning Consultants

EXPLANATORY BACKGROUND DOCUMENT

465-469 GREEN LANES
LONDON
N13 4BS

JANUARY 2019

Our Ref: CA/3103

Kinetic House, Theobald Street,
Borehamwood, Hertfordshire WD6 4PJ
Tel: 020 8387 1387
E-Mail: enquiries@apcarsmithplanning.co.uk

RTPI
Chartered Town Planner

This Statement accompanies a planning application by Andora Homes Limited for the redevelopment of the site to provide 15 residential units. This includes the re-provision of an existing 1 bedroom flat fronting Green Lanes with the remainder of the development being in two blocks. Block 1 is a three storey block of 3 flats (1 x 1 bed, 1 x 2 bed and 1 x 3 bed). Block 2 is a part three/part four storey block of 11 flats (4 x 1 bed, 5 x 2 bed and 2 x 3 bed units). The redevelopment incorporates the construction of a new access way off Green Lanes, off-street car parking, with bicycle and refuse/recycle storage in a detached building.

The application is identical to permission Ref: 15/05516/FUL, the decision letter for which is dated 13 September 2017. That permission is subject to a Section 106 Agreement dated 13 August 2018.

The Agreement included for an affordable housing contribution split into two parts. Part 1 was for the sum of £285,400 which is due to be paid upon commencement of development. Part 2, also for £285,400, is due to be paid on occupation of the 5th dwelling. The Agreement included a provision for a Viability Appraisal Review to be submitted once 50% of the dwellings have been sold. Any additional profit identified by this Review is to be shared between the Council and the owner with 60% payable to the Council towards the affordable housing contribution. No more than 65% of the dwellings can be occupied until the Review has been concluded and the Additional Affordable Housing Contribution, if required, has been paid to the Council.

In addition to these affordable housing contributions the Section 106 Agreement included a requirement for a contribution of £35,490 towards education, £43,480 towards transport initiatives and a monitoring fee of £32,490. The education and transport contributions, like Part 1 of the affordable housing contribution, are required to be paid upon commencement of development.

This previous application had been submitted by the former owner of the site, Kuros Consultants Limited. Prior to the completion of the Section 106 Agreement they had exchanged to sell the site to a developer who was intending to implement the planning permission. Provided is a letter dated 10 January 2019 from Kuros Consultants Limited. Their letter explains that, unfortunately, the intended purchaser pulled out of the purchase, primarily as a result of the financial contribution towards affordable housing which was considered to render the development unviable.

The site has now been sold to Andora Homes Limited (with the exception of that part of the Green Lanes frontage not affected by the proposals

themselves – the pair of semi-detached properties comprising 465/467 Green Lanes). This application is submitted by Andora Homes. It is for precisely the same form of development as previously approved with the same plans and supporting statements. The only difference in terms of submitted documentation is this statement and a fresh Viability Appraisal. The intended purpose of this application is to seek to have the affordable housing contribution reconsidered on the basis of the Viability Assessment that has now been undertaken by Bidwells.

The plans on which basis the application is submitted are as listed on the grant of planning permission and are as follows:

- Drwg No 983/50 — Site Location Plan
- Drwg No 983/51 — Site Plan as Existing
- Drwg No 983/52 Rev A — Site Plan as Proposed
- Drwg No 983/53A — Block Plan as Proposed
- Drwg No 983/54 Rev A — Block 1 Plans and Elevations as Proposed.
- Drwg No 983/55 Rev A — Block 2 – Plans as Proposed
- Drwg No 983/56 Rev A — Block 2 Elevations as Proposed
- Drwg No 983/57 Rev B — Site Section AA and Elevation as Existing and Proposed
- Drwg No 983/58 Rev A — Street Elevation BB as Existing and Proposed
- Drwg No 983/59 — Existing Site Photographs
- Drwg No 983/60A — Visualisation 1
- Drwg No 983/61 Rev A — Visualisation 2
- Drwg No 983/62 Rev A — Aerial Views as Existing and Proposed
- Drwg No 983/63 — Bicycle Store and Refuse/Recycling Store Details
- Drwg No 983/64 Rev A — Site Elevation CC as Proposed
- Drwg No 983/65 — Visualisation 2
- Drwg No 983/66 — Ground and First Floor Plans as Existing
- Drwg No 983/67 — 469 Green Lanes as Proposed

A typographical error has been noticed on the decision letter. This refers to Drwg No 983/59 Rev A. However no Rev A was ever submitted.

This application is accompanied by the following supporting statements which were also considered by the Council as part of their determination of Application Ref 15/05516/FUL:

- Design and Access Statement

- Ecological Appraisal
- Energy and Sustainability Statement
- Lifetimes Homes Statement
- Noise and Vibration Assessment
- Outline Drainage Strategy
- Planning Statement
- Refurbishment Demolition Survey
- Site Waste Management Plan
- Transport Statement

The previously submitted reports in respect of viability are not included with this application. Instead the Applicant has instructed Bidwells to review matters afresh regarding viability. Their statement, assessing the economic viability of the extant scheme, is submitted with this application. This is the only document that differs from those previously submitted and found to be acceptable by the Local Authority when planning permission was granted.

As can be seen Bidwells demonstrate that the extant permission generates a negative residual land value and concludes that it cannot be considered viable in the current market. As they refer even when the affordable housing contribution is reduced to zero the extant scheme can only generate a residual land value of £142,938. This remains £857,062 below the Viability Benchmark Value previously agreed at £1 million. As Bidwells refer the Applicant is prepared to absorb this deficit in anticipation that market conditions will improve sufficiently over the lifetime of the project to enable the scheme to generate the target profit of 20% on GDV. They therefore conclude that a zero affordable housing contribution satisfies the test set out in local and national planning policy and should therefore be considered acceptable to the Local Authority.

To enable the matter of viability to be completely reconsidered it is necessary to resubmit this full planning application with all documentation once again and to pay the full application fee to the Local Authority. However with the exception of matters in respect of affordable housing contribution there has been no change. There has been no change on the ground – either on the application site or in the surrounding area. Nor has there been any change in planning policy other than the revised National Planning Policy Framework which was published in July 2018. The latter does not affect matters in respect of affordable housing/affordable housing contributions other than for non-major applications (ie; applications of less than 10 dwellings) and therefore this revised policy document does not affect matters relevant to this planning application.

Given that Bidwells demonstrate that the proposed development will not be viable with any contribution towards affordable housing it is hoped that the Local Authority will once again grant planning permission but with no requirement for there to be a financial contribution towards affordable housing.

BLOCK 2 - Elevation A as Proposed

BLOCK 2 - Elevation B as Proposed

BLOCK 2 - Elevation C as Proposed

BLOCK 2 - Elevation D as Proposed

MATERIALS KEY:

1 Yellow facing brickwork in cavity construction
2 K Rend external render, colour: off-white
3 Cedral weatherboard, colour: light grey
4 Composite light grey powder-coated aluminium insulated panel
5 White uPVC framed window with top hung opener
6 White uPVC framed glazed door
7 White powder-coated aluminium framed glazed bi-folding door
8 Grey aluminium roof to penthouse
9 Metal balcony with glass balustrade
10 Glass Juliette balcony with metal handrail
11 Timber painted entrance door
12 Glass/Metal entrance canopy
13 Obscure glass screening panel

Yellow facing brickwork

Glass balustrade

K Rend external render, colour: off-white

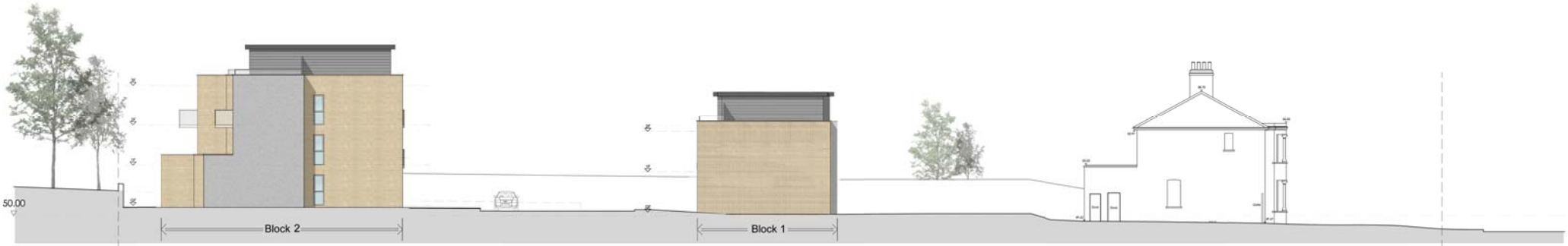
Cedral weatherboard

Key Plan
(not to Scale)

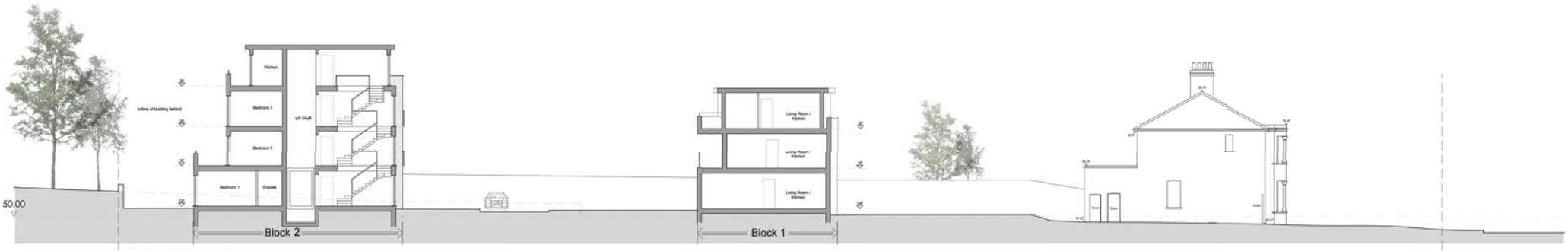
0mm 20 40 60 80
0m 2 4 6 8
1:100 Scale Bar

CGA architects	221 East Barnet Road, Barnet, Herts EN4 8QS Tel: 020 8449 5100 Fax: 020 8449 5170	Client: Kuros Consultants	Site: 465-469 Green Lanes London N13 4BS	Drawing Title: Block 2 - Elevations as Proposed	Scale: 1:100 @ A2 Date: June 2016 Drg. No. 983/56 Rev. A

Site Section AA as Existing (as Elevation)



Site Section AA as Proposed (as Elevation)

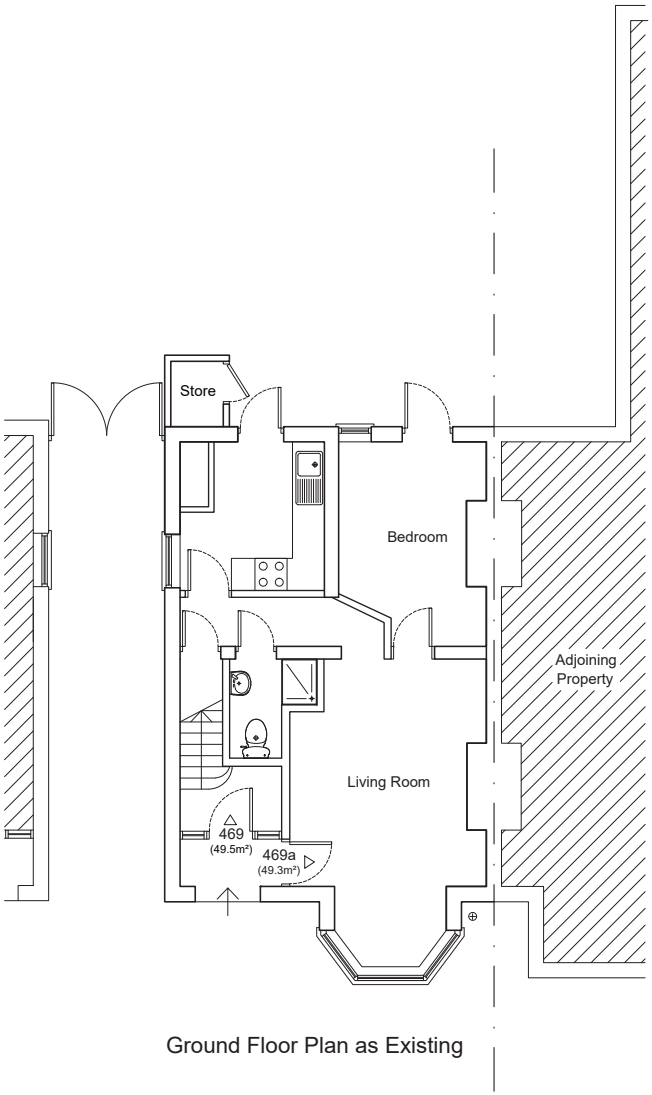


Site Section AA as Proposed

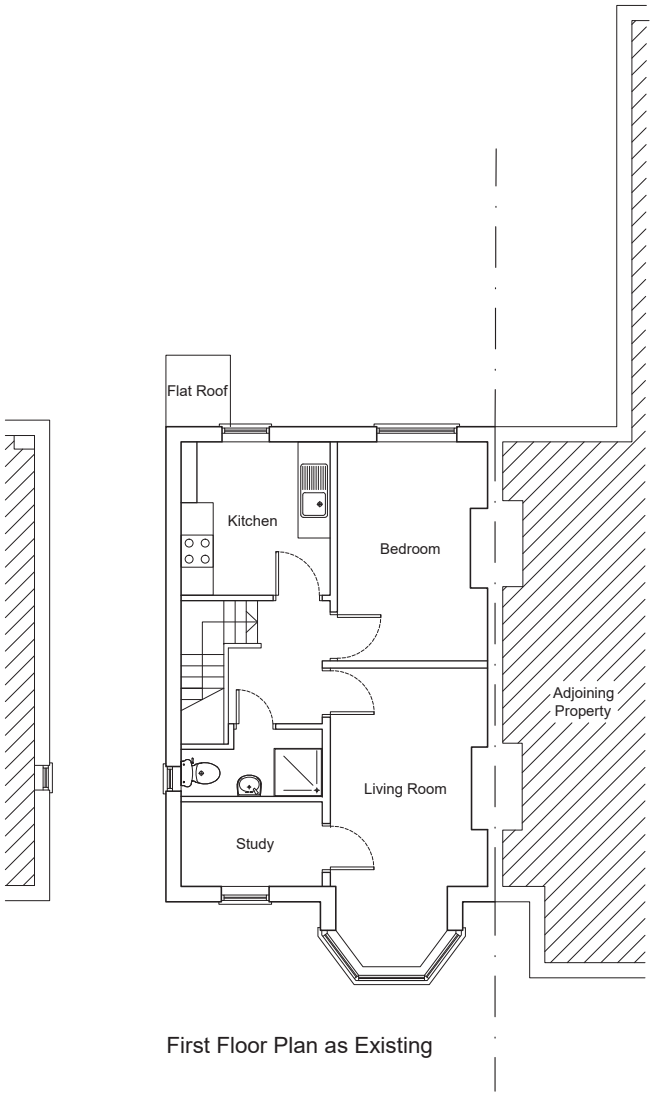
0mm 20 40 60 80
0m 2 4 6 8
1:100 Scale Bar

No scaled dimensions to be taken from this drawing. All dimensions to be site checked.

© CGA Architects 221 East Barnet Road, Barnet, Herts EN4 8QS Tel: 020 8449 5100 Fax: 020 84495170	Site: 465-469 Green Lanes London N13 4BS	Title: Site Section AA & Elevtion as Existing and Proposed
Client: Kuros Consultants	Scale: 1:100 @ A0 Date: June 2016 Drawn:	Drg. No.: 983/57 Rev.: B

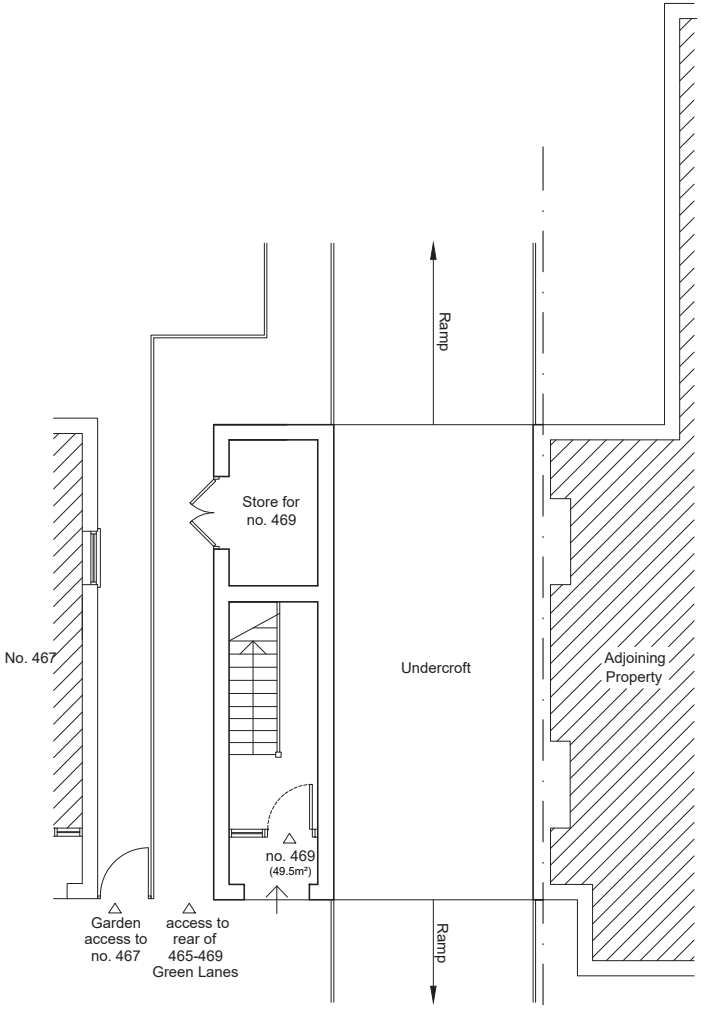


Ground Floor Plan as Existing

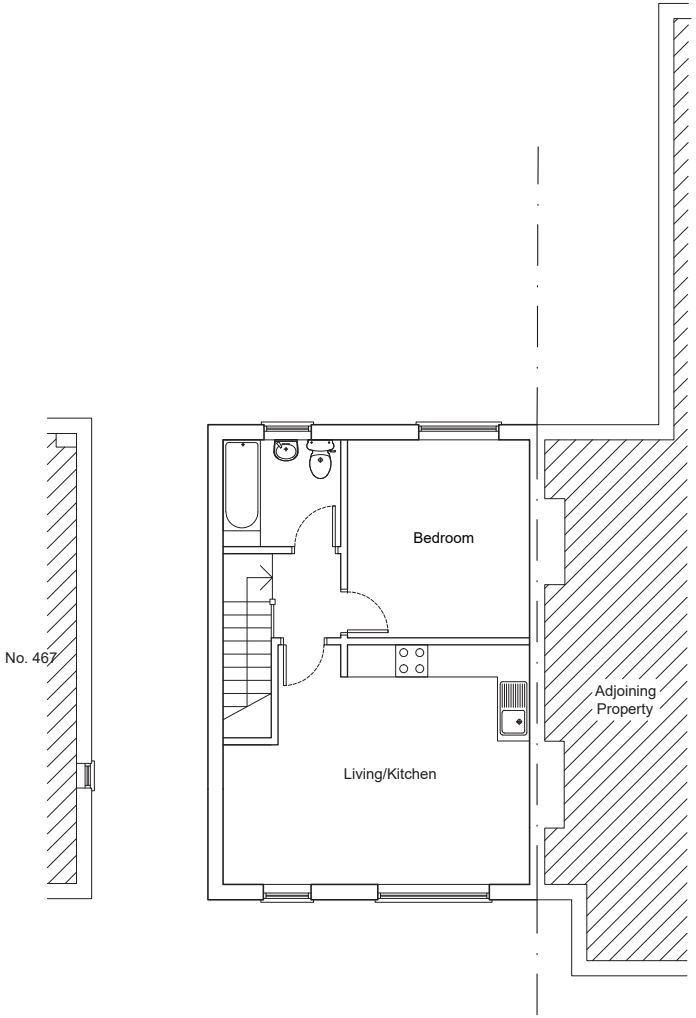


First Floor Plan as Existing

CGA rchitects	221 East Barnet Road, Barnet, Herts EN4 8QS Tel: 020 8449 5100 Fax: 020 8449 5170	Client: Kuros Consultants	Site: 465-469 Green Lanes London N13 4BS	Drawing Title: 469 Green Lanes as Existing	Scale: 1:100 @ A3 Date: June 2016 Drg. No. 983/66 Rev. #

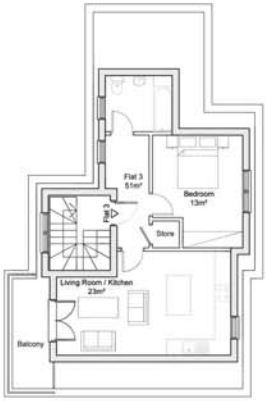


Ground Floor Plan as Proposed



First Floor Plan as Proposed

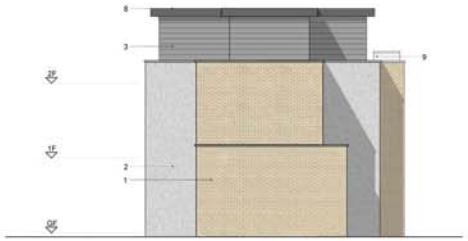
CGA rchitects	221 East Barnet Road, Barnet, Herts EN4 8QS Tel: 020 8449 5100 Fax: 020 8449 5170	Client: Kuros Consultants	Site: 465-469 Green Lanes London N13 4BS	Drawing Title: 469 Green Lanes as Proposed	Scale: 1:100 @ A3 Date: June 2016 Drg. No. 983/67 Rev. #



Second Floor Plan as Proposed

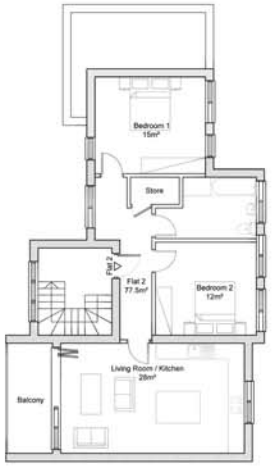
Roof Plan as Proposed

BLOCK 1 - Elevation A as Proposed



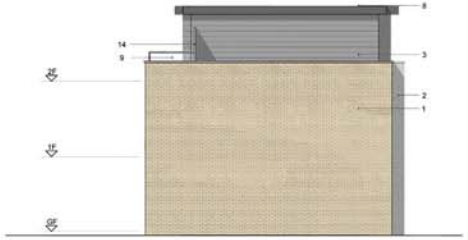
BLOCK 1 - Elevation B as Proposed

Ground Floor Plan as Proposed



First Floor Plan as Proposed

BLOCK 1 - Elevation C as Proposed



BLOCK 1 - Elevation D as Proposed

MATERIALS KEY:

1 Yellow facing brickwork in cavity construction
2 K Rend external render, colour: off-white
3 Cedral weatherboard, colour: light grey
4 Composite light grey powder-coated aluminium insulated panel
5 White uPVC framed window with top hung opener
6 White uPVC framed glazed door
7 White powder-coated aluminium framed glazed bi-folding door
8 Grey aluminium roof to penthouse
9 Metal balcony with glass balustrade
10 Glass Juliette balcony with metal handrail
11 Timber painted entrance door
12 Glass/Metal entrance canopy
13 Obscure glass screening panel

Yellow facing brickwork
Glass balustrade
K Rend external render, colour: off-white
Cedral weatherboard

0mm 20 40 60 80
0m 2 4 6 8
1:100 Scale Bar

No scaled dimensions to be taken from this drawing. All dimensions to be site checked.

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Herts EN4 8QS
Tel: 020 8449 5100 Fax: 020 8449 5170

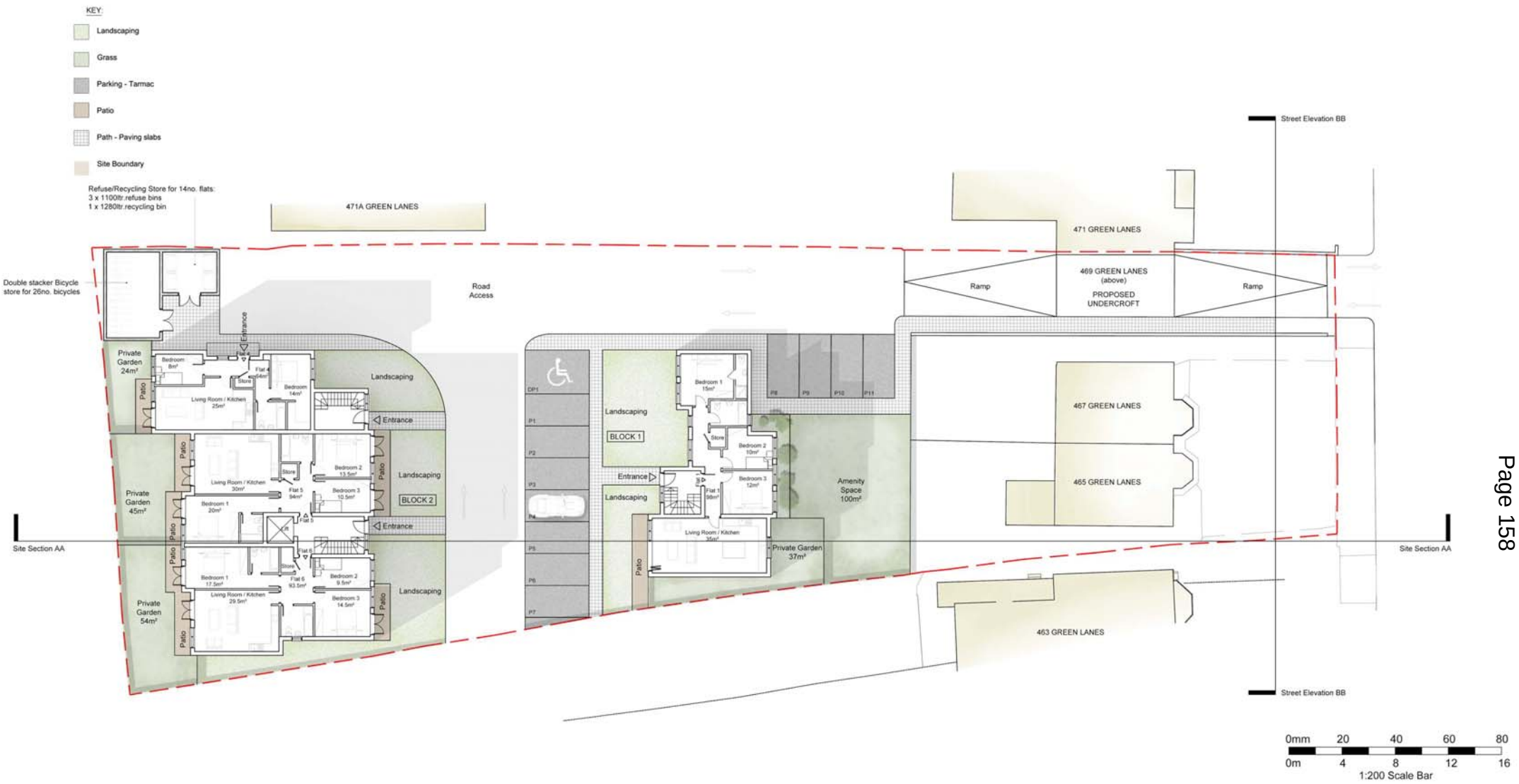
Site: 465-469 Green Lanes
London
N13 4BS

Title: Block 1 - Plans and Elevations as Proposed

Client: Kuros Consultants

Scale: 1:100 @ A1
Date: June 2016
Drawn:

Drg. No. 983/54
Rev. A



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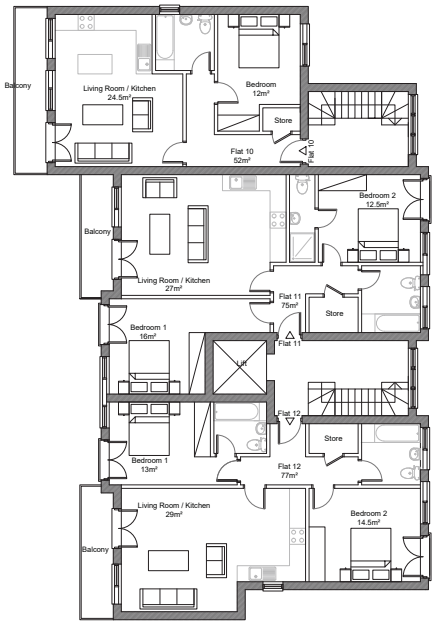
Site: 465-469 Green Lanes
London
N13 4BS

Title: Site Plan as Proposed

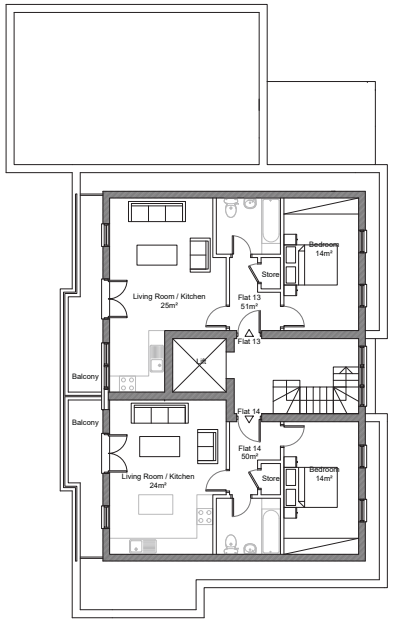
Client: Kuros Consultants

Scale: 1:200 @ A2
Date: June 2016
Drawn:

Drg. No. 983/52
Rev. A

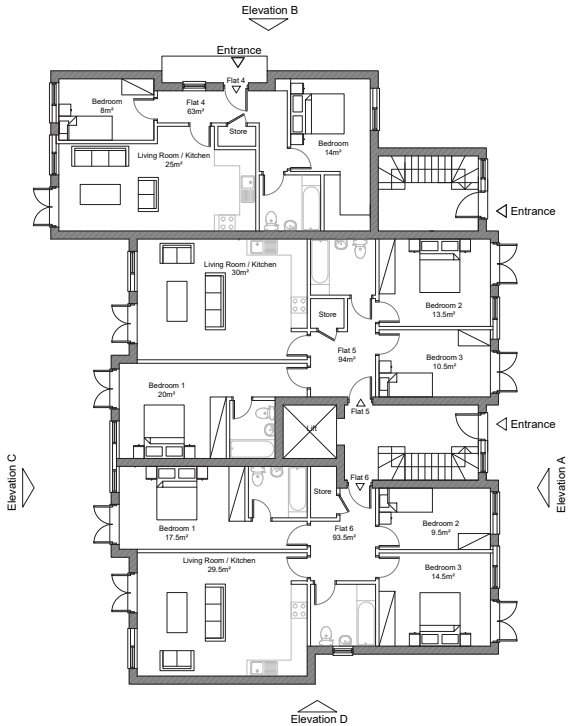


Second Floor Plan as Proposed

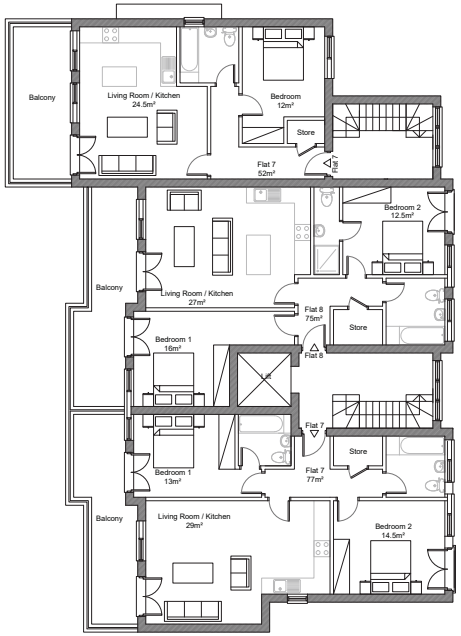


Third Floor Plan as Proposed

Roof Plan as Proposed



Ground Floor Plan as Proposed



First Floor Plan as Proposed

0mm 20 40 60 80
0m 2 4 6 8
1:100 Scale Bar

No scaled dimensions to be taken from this drawing. All dimensions to be site checked.

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Site:
465-469 Green Lanes
London
N13 4BS

Title:
Block 2 - Plans as Proposed

Client: Kuros Consultants

Scale: 1:100 @ A1
Date: June 2016
Drawn:

Drg. No. 983/55
Rev. A

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Client:
Kuros Consultants

Site:
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N13 4BS

Drawing Title:
Site Location Plan

Scale:	1:1250 @ A4
Date:	Sept. 2015
Drg. No. 983/50	Rev. #

CGA rchitects	221 East Barnet Road, Barnet, Herts EN4 8QS Tel: 020 8449 5100 Fax: 020 8449 5170	Client: Kuros Consultants	Site: 465-469 Green Lanes London N13 4BS	Drawing Title: Visualisation 2	Scale: Not to Scale Date: June 2016 Drg. No. 983/65 Rev. #

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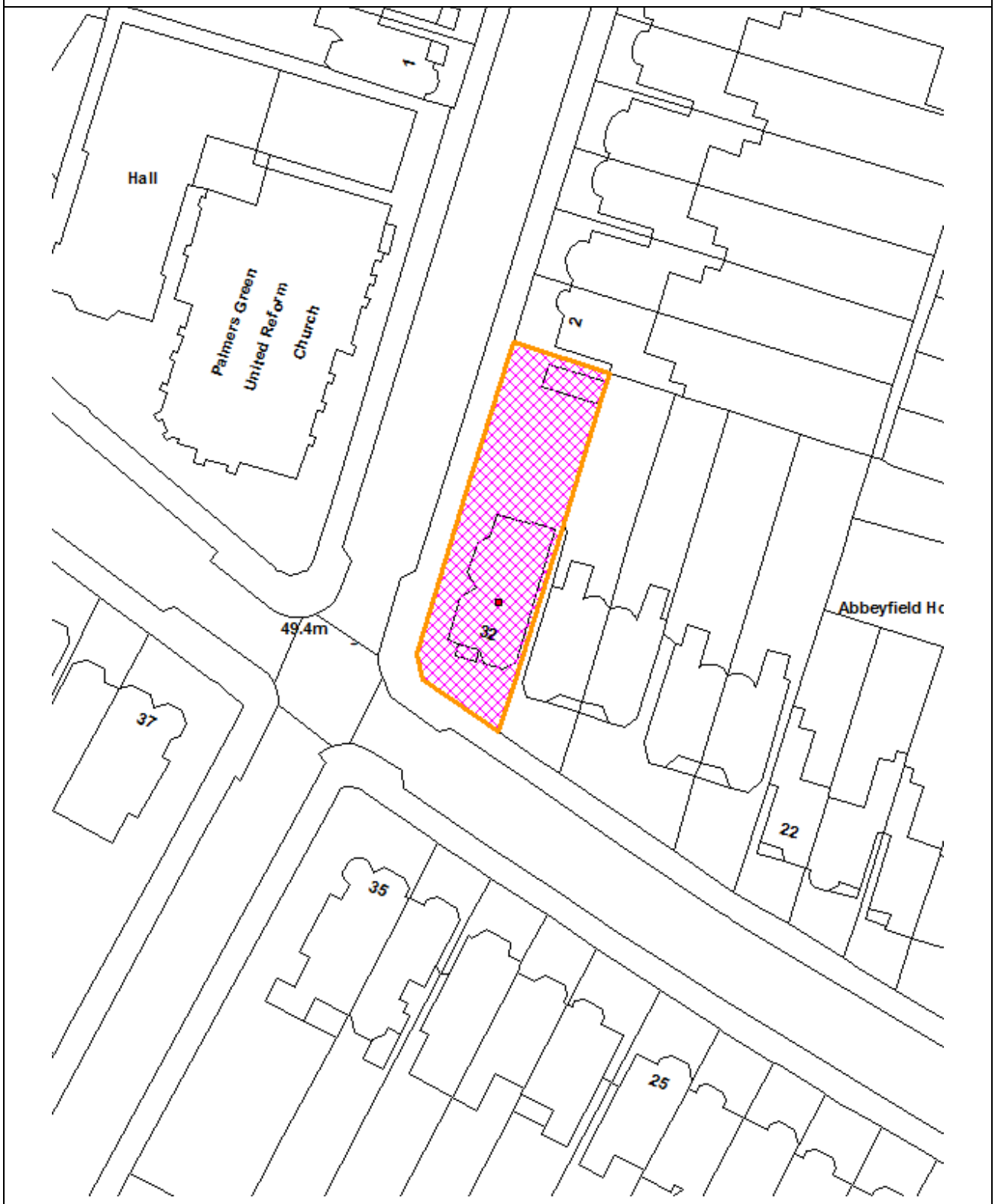
LONDON BOROUGH OF ENFIELD		
PLANNING COMMITTEE	**Date:** 27th August 2019	
Report of Head of Planning	**Contact Officer:** Andy Higham Claire Williams Francis Wambugu Tel: 0208 379 5076	**Ward:** Winchmore Hill
Ref: 19/00973/FUL	**Category**: Full Application	
LOCATION: 32 Fox Lane, London, N13 4AH		
PROPOSAL: Change of use from a warden supervised rest home and internal reconfiguration to create 4 self-contained flats comprising 1 x 4 bed and 3 x 1 bed.		
Applicant Name & Address: C/O the Agent	**Agent Name & Address**: Mr Michael Olive Michael Olive Architects Four Oaks Miletree Road Heath and Reach Leighton Buzzard LU7 9LA United Kingdom	
RECOMMENDATION: That planning permission be GRANTED subject to conditions.		

Ref: 19/00973/FUL **LOCATION: 32 Fox Lane, London, N13 4AH,**



ENFIELD Council

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Scale 1:1250

North

1.0 Note for Members

1.1 Although a planning application for this type of development would normally be determined by officers under delegated authority, the application is been reported to the Planning Committee for determination at the request of Councillor Barry.

2.0 Recommendation /Conditions

2.1 That planning permission be GRANTED subject to the following conditions.

1. Time Limited Permission – 3 years

2. Development in Accordance with Approved Plans
   The development hereby permitted shall be carried out in accordance with the following approved plans Nos: 6891 ED1 (Existing Plans), 6891 P21 Rev C (Proposed Plans) and Supporting Information (Design and Access Statement and Addendum to Design and Access Statement)

   Reason: For the avoidance of doubt and in the interests of proper planning.

3. External finishing Materials
   The development shall not commence until drawings including sections to a scale of 1:20 detailing the proposed new windows and the glazing bars proposed and details of the external finishing materials to be used have been submitted to and approved in writing by the Local Planning Authority. The development shall be implemented in accordance with the approved details.

   Reason: To ensure a satisfactory external appearance and to safeguard the character and appearance of the Lakes Estate Conservation Area

4. Enclosure details
   Prior to the occupation of the development, details of the enclosure for the proposed refuse and cycle storage area shall be submitted to and approved in writing by the Local Planning Authority. The enclosure shall be erected as per the approved details.

   Reason: In the interest of visual amenities and mitigating the potential for overlooking.

5. Front garden landscaping
   The development shall not be occupied until details of the landscaping proposed for the front garden area including types of shrubs and grass to be planted and the treatment of the front boundary wall and any hard-surfaced areas have been submitted to and approved in writing by the Local Planning Authority. The site shall be landscaped in accordance with the approved details in the first planting season after completion or occupation of the development whichever is the sooner. Any shrubs or greenery which die, becomes severely damaged or diseased within five years of planting shall be replaced with new planting in accordance with the approved details.

Reason: To provide a satisfactory appearance and to safeguard the character and appearance of the Lakes Estate Conservation Area

6. Energy efficiency
The proposed development shall be implemented in accordance with the sustainability, energy efficiency and water details outlined in the submitted Addendum to Design and Access Statement and maintained as such thereafter.

Reason: In the interest of sustainable development and to ensure that the Local Planning Authority may be satisfied that CO2 emission reduction targets are met.

2.2 Authority is also requested to enable officers to amend/update the wording of the above-mentioned conditions to ensure they reflect any issues raised by Planning Committee and/or reported updates at the meeting.

3.0 Executive Summary

3.1 The proposal will result in the provision of four good quality residential units that that will include a family sized four-bedroom unit with direct access to a generous rear garden amenity area, all providing satisfactory internal floorspace to satisfy national space standards without significantly impacting on the character and external appearance of the existing building or neighbouring residential amenity.

3.2 The development includes proposals for landscaping within the front garden area and improvement of the front boundary walling to enhance the setting and appearance of the site, the surrounding area and the Lakes Estate Conservation Area.

4.0 Site and Surroundings

4.1 The site is situated on the northern side of Fox Lane and eastern side of Burford Gardens on a rectangular shaped corner plot. It is on a prominent location, on the junction between Fox Lane and Burford Gardens.

4.2 The site contains a detached Edwardian building circa 1905-1914. The building is located within the boundaries of the Lakes Estate Conservation Area and is cited in the Lakes Estate Conservation Area Character Appraisal as making a positive contribution to the area and comprising a building having lost most of its original features. The Palmers Green United Reform Church is identified as a locally listed and Landmark building and is located on the opposite side of Burford Gardens fronting Fox Lane. The church hall and church building were constructed in 1909 and 1914 and feature a high quality florid Gothic design in brick and stone with arts and crafts motifs. The church building is a prominent local landmark due to its siting on the corner junction with Fox Lane and Burford Gardens.

Photo 1 - Front Elevation – Fox Lane Frontage

Photo 2 - Burford Gardens Elevation showing Existing Crossover and detached garage to be retained and No. 2 Burford Gardens to the left side.

Photo 3 Flank Elevation – Burford Gardens side

Photo 4 - Rear Elevation

4.3 The immediate area comprises large detached dwellings some of which have been converted into flats and homes; Woodland Residential Care Home is located on the opposite corner with The United Reform Church. The character of the surrounding properties from Nos. 12 to 30 Fox Lane comprise a dental clinic, a few flat conversions and single dwelling houses and along Burford Gardens are other flat conversions. The wider surrounding is predominantly residential in nature comprised of a mix of detached, semis and terraced properties.

5.0 Proposal

5.1 The applicant seeks full planning permission for: Change of use from a warden supervised rest home and reconfiguration to 4 self-contained flats comprising 1 x 4 bed and 3 x 1 bed.

5.2 Ground Floor level – comprises a 4 bed-7 person dwelling (4b7p unit) providing living room, kitchen/dining, 3 en-suite bedrooms, 1 standard bedroom and accessible bathroom. Gross Internal Floor Area (GIA) – 130.6 sqm. The unit has direct access to the rear garden amenity area from the dining room area.

5.3 First Floor level – comprises 2 x 1 bed dwellings – front unit (1 bed-1person unit) provides living/dining, kitchen, bedroom and accessible bathroom (GIA – 40 sqm**)**; the rear unit (1 bed-2person unit) provides living/dining/kitchen and an en-suite bedroom (GIA – 50 sqm).

5.4 Second Floor (Attic) level - comprises a 1 bed – 2 person dwelling (1b2p unit) - providing living/dining/kitchen, toilet, en-suite bedroom and storage space (GIA – 55.1 sqm)

5.5 The front garden wall is to be reinstated with a brick rubble ‘waster’ (burr) wall to mimic the distinctive feature of the estate, originally almost always constructed of irregularly sized rubble or ‘wasters’, a by-product of brickmaking and soft landscaping to the garden while the rear garden is to be landscaped for amenity purposes and enclosed for use by the ground floor family unit. The existing garage structure is to be retained for car parking and refuse & recycling and cycle parking is to be provided within an enclosed area to the rear accessible via a gate from Burford Gardens. Parking provision for 2 cars is provided at rear, one within the garage for the ground floor unit and the other one for the first-floor rear unit; accessed via the existing crossover from Burford Gardens.

5.6 One new window is proposed at first floor to the flank wall facing Burford Gardens and two existing windows on ground floor level are to be removed with the remaining two being modified to feature glazing bars to match the existing window style. To the rear elevation, the ground floor door is to be realigned and one additional window proposed to serve the rear bedroom. No changes are proposed to the front (south) and east facing flank walls.

5.7 The site has a PTAL 3 rating and a site area of 453.41 sqm.

6.0 Relevant Planning History

6.1 Reference - 18/02966/CEU
Development description - Use of premises as 11 studio flats (C3 use) (establishing continuous use for 4 years or more).
Decision – Refused 22.01.2019
Reason - *The Local Planning Authority having due regard to its own evidence and in assessing the submitted evidence considers that on the balance of probabilities, the evidence provided does not demonstrate that the property at 32 Fox Lane N13 4AH has been used as 11 studio flats (C3 use) continuously for 4 years or more from the date of submission of the application.*

6.2 Reference - 17/03712/FUL
Development description - Alterations and reconfiguration of existing block of flats to form 5 self-contained flats, comprising 2 x 2-bed and 3 x 1-bed.
Decision – Refused 11.10.2017
Reasons – (1) failure to relate to character of existing dwelling, the adjacent listed building and the Lakes Estate conservation area, (2) Intensification and overdevelopment, (3) poor housing mix and no family unit, (4) poor quality of accommodation, (5) inadequate amenity space and (6) inadequate cycle parking and refuse storage

6.3 Reference - TP/08/1081
Development description - Retention and continued use of property as a supervised rest home, incorporating 2 additional units of accommodation and use of former garage as an incidental office and common room. (RETROSPECTIVE)
Decision – Refused 28.08.2008

6.4 Reference - TP/01/0394
Development description - Change of use from single family dwelling house to warden supervised rest home for nine adults
Decision – Granted 24.07.2001

6.5 Reference - TP/00/1643
Development description - Part single storey, part two storey side and rear extensions, with hipped roof over and loft conversion with rear dormer
Decision – Granted 19.12.2000

6.6 Reference - TP/93/1039
Development description - Conversion of existing single-family dwelling house to hostel (C2) for 8 persons with learning difficulties
Decision – Granted 09.03.1994

6.7 Reference - TP/91/0184
Development description - Conversion of house to provide four self-contained flats (2 bed-sitters) and 2 one-bed flats) together with erection of first floor rear extension and provision of parking spaces in rear garden
Decision – Granted 11.06.1991

Relevant Enforcement History

6.8 Reference - ENF/18/0229
Change of use to self-contained flats- No PP
Status – Pending consideration

Officer Comments

6.9 The LPA's investigations into the alleged breach under Ref: ENF/18/0229 has led to the submission of the current planning application.

7.0 Consultation

7.1 Statutory and Non-Statutory Consultees:

Internal

7.1.1 Traffic & Transportation – No objection subject to conditions

7.1.2 Conservation officer – No objection subject to conditions

External

7.1.3 Lakes Estate Conservation Study Group – No objection.

7.2 Public

7.2.1 Consultation letters were sent to 18 surrounding and nearby properties on 5 April 2019 (21 days expired 26 April 2018). Following revisions to the description of development to include change of use, neighbours were re-notified by letter on the 25 June 2019 (21 days expired 16 July 2019). At the time of writing the report, one letter of objection had been received following the first notification and two letters of objection by same objector have been received following the second notification; all the concerns are summarised below,

- Inadequate parking provision
- Increase in traffic
- Severe parking difficulties in Fox Lane and Burford Gardens
- Information missing from plans and lack of information within the application.
- Loss of parking
- Out of keeping with character of area, overdevelopment, excessive in terms of density, result in demands on infrastructure and services and its visual impact on the character of the neighbourhood and on residential amenity of neighbours.
- Previous applications have been very similar in nature and have either been refused or withdrawn.
- Incorrect proposal description as this is a change of use.

- Current refuse storage insufficient and 12 wheelie bins lining the pavement on collection day would be an eye sore and hazard.
- Lack of amenity space for upper flats and unclear on how the rear garden will be used.
- Affect local ecology
- There are already other flat conversions at Nos. 4 and 6 Burford Gardens and Dumayne house. A conversion into 2 decent size flats (duplex) would be more in keeping with the area and site footprint.
- Use of the two-car garage at the rear is probably being used as bedsit accommodation.

Officer Comments

7.2 The concerns raised by the neighbouring occupier relating to incorrect description have been addressed following inclusion of change of use in the revised description. The provision of refuse and recycling bins within an enclosure ensures no bins would be lining the pavement and the use of the existing garage has been confirmed to be for car parking. The other issues shall be covered in the report however the principle concerns relate to overdevelopment, loss of character, parking and servicing issues.

8.0 Relevant Planning Policies

8.1 The London Plan (2016)

3.2 Improving health and addressing health inequalities
3.3 Increasing housing supply
3.4 Optimising Housing potential
3.5 Quality and design of housing developments
3.8 Housing Choice
3.9 Mixed and Balanced Communities
5.3 Sustainable design and construction
5.13 Sustainable Drainage
3.14 Existing housing
3.17 Health and social care facilities
6.9 Cycling
6.10 Walking
6.13 Parking
7.4 Local Character
7.6 Architecture
7.8 Heritage Assets and Archaeology
8.3 Community Infrastructure Levy

8.2 Core Strategy (2010)

CP2 Housing supply and locations for new homes
CP4 Housing quality
CP5 Housing types
CP7 Health & social care facilities & other determinants of health

CP20 Sustainable energy use and energy infrastructure
CP21 Delivering sustainable water supply, drainage and sewerage infrastructure
CP22 Delivering sustainable waste management
CP25 Pedestrians and cyclists
CP26 Public transport
CP30 Maintaining and improving the quality of the built and open environment
CP31 Built and landscape heritage
CP32 Pollution
CP46 Infrastructure contributions

8.3 Development Management Document (2014)

DMD3 Providing a Mix of Different Sized Homes
DMD5 Residential Conversions
DMD6 Residential Character
DMD8 General Standards for New Residential Development
DMD9 Amenity Space
DMD15 Specialist housing needs
DMD37 Achieving High Quality and Design-Led Development
DMD44 Preserving and Enhancing Heritage Assets
DMD45 Parking Standards
DMD49 Sustainable Design and Construction Statements
DMD51 Energy Efficiency Standards
DMD58 Water Efficiency
DMD61 Managing Surface Water
DMD68 Noise

8.4 The London Plan – Draft

A draft London Plan was published on 29 November 2017 for consultation purposes. The Plan has now undergone examination in public (EiP) and all the suggested changes, along with evidence will be considered by the Panel whose examination report is expected to be submitted to the Mayor in September. The draft Plan has more weight in determining applications.

8.5 Other Material Planning Considerations

National Planning Policy Framework (2019)
National Planning Practice Guidance
Mayor of London Housing SPG (March 2016)
Enfield Strategic Housing Market Assessment Update (2015)
The Lakes Estate Conservation Area Character Appraisal June 2015
Community Infrastructure Levy Regulations 2010

9.0 Analysis

Key Issues to consider:

9.1 This report considers the issues that arise from the proposals having regard to National, Regional and adopted local planning policies and other material considerations.

9.2 The main issues for consideration are:

- Background history on site
- Principle of development
- Density and dwelling mix
- Impact on character and appearance of the Conservation area
- Standard of resulting accommodation
- Impact on neighbouring amenity
- Highways and servicing issues
- Sustainability issues

Background history on site:

9.3 The site has a long planning history having had planning permissions previously granted for hostel for persons with learning difficulties, conversion to flats and later to warden supervised care home for 9 adults granted under ref: TP/01/0394 on 24.07.2001.

9.4 The applicant states that the use as a warden supervised care home for 9 adults ran under a company called Rendlesham Lodge Ltd with - they state - all funding coming from Enfield Council until 2016 when 50% of the current assisted housing service was cut from the Council's existing annual budget. The applicant has since submitted applications to convert the building into flats.

Principle of Development

9.5 The proposed development of the site would result in the creation of four (4) flats and the loss of warden supervised accommodation for nine adults granted in 2001. The site has previously been granted planning permission for conversion into four (4) flats under ref: TP/91/0184 prior to the care home use. The principle of use as flats would be acceptable helping to increase the housing stock of the Borough in accordance with the National Planning Policy Framework (NPPF) and Policy CP5 of the Enfield Core Strategy (2010). However, the development must also be judged on its own merits and assessed in relation to material considerations including the impact on the character of the area and on residential amenity, quality of resulting accommodation, amenity space, parking provision and servicing, to ensure it achieves a development that integrates appropriately into its surroundings.

9.6 The proposed flats would be achieved within the existing substantial sized property that has in the past been occupied by different groups of varying occupancy. Given its current lawful use, the proposal would not result in loss of a dwellinghouse as the premises is no longer a single-family dwelling and therefore would not have to be tested under Policy DMD 5 (Residential conversions) with regard to conversions. However, it would have to be tested against compliance with Policy DMD 15 (Specialist housing needs).

Loss of Specialist Housing

9.7 Policy DMD 15 states that in addition to the relevant criteria in DMD 4 'Loss of Existing Residential Units', development which would lead to loss of specialist forms of housing will only be permitted if:

(a) It is no longer required to address that specialist housing need, both including its use and tenure, or
(b) The floor space is satisfactorily re-provided to an equivalent or better standard.

9.8 The proposals would not result in loss of existing residential units but rather would result in the creation of additional residential units within a site and area predominantly residential. With regards to criterion (a) of Policy DMD 15, as discussed above under background history of the site, the property was considered no longer required for that specialist housing need when the Local Authority decided that there was no longer a need to provide the service at this premises and review of its annual budgetary allocation.

9.9 With regards to criterion (b) of Policy DMD 15, the floor spaces and layout proposed provide reasonably sized rooms with good circulation areas and utilities that are well lighted and have satisfactorily configurations/s. As such the loss of the specialist housing use on the site is supported.

Dwelling Mix and density

9.10 Policy 3.8 of the London Plan and Policy CP5 of the Core Strategy seeks to ensure that new developments offer a range of housing sizes to meet housing needs. Policy 5 of the Core Strategy requires developments to provide a mix of residential units and seeks across the whole Borough to achieve the following ratios for market housing whilst Policy DMD 3 of the Development Management Document requires provision of a mix of different sized homes that are in line with the targets in Core Strategy Policy 5:

Bedroom	**Persons**	**Percentage**
1-2 bed flats	1-3 persons	20%
2 bed houses	4 persons	15%
3 bed houses	5-6 persons	45%
4+ bed houses	6+ persons	20%

9.11 Current proposal would deliver 3x1 beds (75.0%) and 1x4 bed (25.0%). At 25.0%, the proposed provision of family sized units within the development is

numerically below the range specified in policy. It is recognised that not every site and development can meet the mix of housing set out in Core Policy 5 and in this regard Policy DMD 3 states that development of less than 10 units should contribute towards meeting these targets by providing a mix of different sizes homes, including family sized accommodation which the current proposal achieves. The NPPF under paragraph 122 provides guidance supporting development that makes efficient use of land taking account of viability, infrastructure capacity and local character to ensure viability and deliverability.

9.12 In this case, the site is subject to several constraints among them being the building is existing and proposals do not include external additions and there is reasonable care required to minimise alterations to the building envelope. It is recognised that the site has significant challenges and limited flexibility with regard to provision of the desired housing mix in particular the larger family units. However, the applicant has made good effort following pre-application advice to accommodate a four-bedroom spaciously sized family unit on ground floor level which has a well sized directly accessible rear garden to provide private amenity. The proposed mix with one 4 bed unit and three one-bedroom units within the upper floors would generally be in line with the needs identified by the SHMA (Strategic Housing Market Assessment Update 2015) which recognises the need for both large and small sized units.

9.13 With regards to density, the site would be classified as being within a suburban setting as the prevailing character comprises predominantly low to medium level density such as terraced and semi-detached houses with a few flatted developments. With an average Public Accessibility Level (PTAL) rating of 3 (where 1 is low and 6 is high), the suggested density range would be 150 – 250 hr/ha. The site measures 0.0453 Ha (453.41 sqm) area and with a total of 12 habitable rooms as proposed would represent a density of 264.7 hr/ha which is slightly higher than the suggested density but given the PTAL 3 rating which indicates the site is adequately served with transport links and bus services, the scale of the proposals relative to the character of the surrounding area and the effect on amenities of neighbouring residential occupiers, the development is on balance considered to be appropriate for the site. Policy DMD 6 requires the scale and form of development to be appropriate to the existing pattern of development delivering a housing output having regard to policies on housing mix. The NPPF under paragraph 123 advises on the need to use minimum density standards for locations that are well served by public transport and Enfield's adopted Core Strategy stipulates that the density of residential development proposals should balance the need to ensure the most efficient use of land whilst respecting the quality and character of existing neighbourhoods and accessibility to transport and other infrastructure.

<u>Design and Impact on Appearance & Character of the Conservation Area</u>

9.14 Enfield Core Strategy seeks to protect the distinctive characteristics of the Borough arising from historical development and these objectives are set out through Policy CP 31. Policy DMD 44 requires development affecting heritage assets or their setting to seek to complement the asset in all aspects of its design, materials and details.

9.15 The proposals have been development following preapplication advise and the applicant has incorporated input received from the Conservation officer. It was aimed to avoid any significant alteration/s or addition/s to the external fabric and appearance of the existing building. The front (elevation to Fox Lane) would remain as existing while the side (elevation to Burford Gardens) and rear would have some new windows inserted and some removed, the existing 2m close boarded fence to rear garden and return fence to the garden amenity area would be retained as existing. A new brick rubble (waster) wall and soft planting with shrubs and greenery would be introduced to front garden to enhance the setting and appearance of the site and attenuate surface water run-off. As such the proposals while optimising the use of the site would not result in a significant impact or undue detrimental impact on the character of the site, setting of the building and the character of the surrounding development.

9.16 The changes to Burford Gardens side elevation comprise the addition of one window at first floor and removal of two windows and modification of the remaining two at ground floor level; the two retained windows would be modified to feature glazing bars to match existing window style. To the rear elevation on ground floor level, one window at corner is to be added to serve a rear bedroom and one door removed. To ensure the works involving installation of new windows and reinstatement works are of a quality consistent with the high design and architectural requirements of the Lakes Estate Conservation Area, it is recommended that a condition requiring further details and samples be imposed if planning permission is to be granted.

9.17 It is noted in the Lakes Estate Conservation Area Character Appraisal that the special architectural and historic character of the Conservation Area derives primarily from the homogeneous, collective value of its high-quality Edwardian housing; the predominant building material being brick, usually good red facing bricks to the front and yellow London stocks to the side and back. The front elevations invariably include a bay window, either square or canted, single storey or two-storey in height. The Appraisal notes that the outstanding feature of the houses on the estate is their woodwork and above all the glorious variety of entrance porches, with joined, turned, pierced and curved timber detail. No. 32 Fox Lane is noted as building making a positive contribution to the area and a building having lost most of its original features. As such the decision to retain the building façade, fabric and external appearance generally unchanged despite the need to create new units is laudable. The improvements to the front boundary wall and front garden would enhance the setting, character and appearance of the existing building within its context in the Lakes Estate Conservation Area. These measures are in line with the Lakes Estate Conservation Area Management proposals June 2015.

<u>Standard of resulting accommodation</u>

9.18 Policy 3.5 of the London Plan and Policies DMD 5 and DMD 8 of the Enfield Development Management Document (2014) seek achievement of minimum internal space standards for residential development. Since the adoption of the Council's Development Management Document, the minimum space standards within the London Plan and London Housing Design Guide have been superseded by the nationally described space standards (NDSS) (March 2015). While the national standards are not significantly different to those prescribed in the London Plan and London Housing Design Guide, the NDSS standards take precedence and should be applied.

9.19 In addition to the minimum floor area requirements, new development is expected to provide well-designed, flexible and functional layouts. Table below shows individual flats and floorspace provided against the NDSS standards.

Flat No	Bed/person	Required Floorspace (m^2)	Provided Floorspace (m^2)
Ground floor flat	4 Bed/7 Person	108.0m^2	130.6m^2
First floor flat - front	1 Bed/1 Person	37m^2	40.0m^2
First floor flat - rear	1 Bed/2 Person	50m^2	50.0m^2
Second floor flat	1 Bed/2 Person	50m^2	55.1m^2

9.20 The internal floorspace of each dwelling unit comply and, in some cases, exceed the minimum NDSS standards and all habitable rooms within the proposed flats would have satisfactory layouts with good sized windows, providing adequate outlook and natural lighting. The ground floor 4 bed unit provides a GIA of 130.6 sqm well in excess of the minimum required. The first-floor front 1 bed unit provides an irregular living/dining/kitchen space but given it is a one-person unit, the provision would be acceptable and the 1 bed unit to the rear provides the required internal space. The unit within the loft space has a floor area in excess of the minimum required and it is indicated that more than 75% of that floor area would have a floor to ceiling height in excess of 2.3m as required under the London Housing SPG. Overall the resulting accommodation would be satisfactory for the size of building and the new windows will ensure sufficient light, outlook and ventilation to the habitable rooms.

Amenity Space

9.21 Policy DMD 9 sets out the Council's standards with regard to provision of private and communal amenity space for new residential developments. It states that residential amenity space can be provided in the form of a garden, terrace, balconies/wintergardens however, the appropriateness and amount of each type will depend on the nature of the housing being provided.

9.22 As the proposal relates to the creation of new flats by way of conversion and internal reconfiguration of an existing building with some units located on upper

floors, it is noted that this would present challenges in the provision of outdoor amenity space than would be for new standard housing schemes. Policy DMD 9 in recognizing such challenges states that in exceptional cases, where it is impossible as part of new flatted development to provide all dwellings with sufficient private amenity space, up to 5% of the units may instead be provided with more internal floor area (within the principal living areas) equivalent to the under provision of the minimum private amenity space. In this case, there is no provision for private amenity space for the one bed units but two of the units have been provided with compensatory internal floor space. One unit on first floor to the rear is provided with the minimum allowed internal floor space but with no additional compensatory floor area. However, it is designed with a floor layout that is well configured with reasonably sized rooms and adequate circulation space to provide satisfactory living accommodation.

9.23 With regard to amenity space for the one bed units, the applicant states that the flats have good access to Grovelands Park Public Open Space which is 0.6 miles to the north east with a walking time of 13 minutes and that this Grade II Listed Historic Parks and Gardens is complete with a children's playground, games courts and other amenities. Given the development's proximity to the public park, the ground floor family sized flat having direct access to a large sized and well configured rear garden amenity space of 148.0 m², and the one bed units that satisfy and, in some cases, exceed the minimum space standards, the Council is satisfied that the provision of amenity space complies with Policy DMD 9. The overall quality of accommodation within the four (4) units is considered acceptable and in compliance with Policy 3.5 of the London Plan and Policies DMD 8 and DMD 9 of the Development Management Plan.

Impact on neighbouring amenity

9.24 Policy 30 of the Core Strategy stipulates that all developments in the public realm must be high quality and design-led having regard to their context while Policy DMD37 of the Development Management Document requires developments to be appropriate to their context having regard to their surroundings. Policy DMD8 states that new developments should preserve amenity in terms of daylight, sunlight, outlook, privacy, overlooking, noise and disturbance.

9.25 The footprint of the existing building is to remain unchanged and with no significant additions or alterations to the external fabric and appearance of the building. Given the site location, the properties most likely to be affected by the development would be those sharing boundaries with the application site; No. 30 Fox Lane that adjoins to the south and No. 2 Burford Gardens abutting the rear garden to the north side. Only one window is proposed to be added at first floor level and this window would be on Burford Gardens side elevation thus overlooking the United Reform Church building. The other new window would be on ground floor level to the rear. As such all the new windows are positioned to ensure they would not overlook or prejudice amenities to the neighbouring properties.

Impact on No 30 Fox Lane

9.26 No 30 Fox lane is located directly to the east of the development site and shares a boundary on the longer side with the two buildings being approximately 1.5m apart. As existing the application property is detached and projects further rearwards beyond this neighbouring property and on its existing flank wall facing No. 32 are two windows at ground floor level and two windows at first floor level all serving habitable rooms and one window at first floor that serves the staircase; no changes are proposed to the windows on this flank wall. The two windows at first floor level are proposed to serve a kitchen and a living/dining while the two windows on ground floor level are to serve bedrooms. The two windows on ground level are screened from the neighbouring property by the boundary fence and the smaller window at first floor screened by the neighbour's two storey rear projection, while one window on first floor level serving the living/dining does directly overlook the neighbouring property. However, given these are existing windows, the situation with overlooking would not be increased as a result of the development. Furthermore, No. 32 has a two-storey projection close to the boundary with the application site which has a covered terrace with open sides at first floor level that overlooks the application site so there appears to be a historic mutual overlooking between both properties.

9.27 As no new windows are proposed on the flank wall and the subject windows have been serving habitable rooms, it is considered that no undue additional overlooking would result to the occupiers of the adjacent property as a result of the development.

Impact on No. 2 Burford gardens

9.28 No 2 Burford Gardens is located directly to the north of the development site and abuts the bottom of the rear garden to the site. It is sited approximately 18.7m distance from the rear wall of the application property. There is an existing detached garage structure located on the boundary at the bottom of the rear garden between the development site and No. 2 Burford Gardens that is proposed to be retained. Given the separation distance between the two buildings, it is not considered there would be any undue loss of amenity to the amenities of this neighbouring property. The likely level of occupancy proposed with 4 flats would be approximately 10 persons and is significantly lower to that of existing use as 11 studio flats or the current lawful use as warden supervised care home for 9 residents (approximately 11 residents including the supervisors). As such it is not expected there would be an undue increase in impact or loss of amenity in terms of overlooking, outlook, light, noise and general disturbance. The existing garage structure is proposed to be retained for car parking use and provides a satisfactory screen between the properties.

Highways Issues

Car Parking & Cycle provision

9.29 Policy 6.13 of the London Plan seeks to see an appropriate balance being struck between promoting new development and preventing excessive car parking provision that can undermine cycling, walking and public transport use and sets out maximum standards in Table 6.2. Policy DMD 45 of the DMD seeks to minimise car parking and to promote sustainable transport options. The Council recognises that a flexible and balanced approach needs to be adopted to prevent excessive car parking provision while at the same time recognising that low on-site provision sometimes increases pressure on existing streets. Under Table 6.2, the maximum requirement for a 4+ bed unit is 2-1.5 spaces per unit and for a 1 bed unit, the maximum provision required is less than 1 space per unit.

9.30 Two parking spaces are proposed to serve the development, with one dedicated for use by the ground floor family unit and the other for use by the first-floor 2-person rear unit. The Council's Traffic and Transportation officer states that the existing development would likely generate demand in the region of 5 No. car parking spaces which is higher than the demand arising from the proposed development. As per the London Plan, the maximum car parking requirement for a 4-bed unit is 2 – 1.5 spaces per unit and for a 1 bed it is less than 1 space per unit. A maximum provision of 3 parking spaces would be required to serve the development and 2 spaces are provided, so the proposed provision is within the maximum provision required and is acceptable.

9.31 Policy 6.9 of the London Plan requires development to provide secure, integrated, convenient and accessible cycle parking facilities in line with the minimum standards set out in Table 6.3 and guidance set out in the London Cycle Design Standards (or subsequent revisions). For a 3+ bed unit it is required 2 spaces per unit and for a 1 bed unit 1 space per unit so a total of 5 spaces would be required. Cycle storage for 6 No. cycles is provided to the rear of the site in the form of Asgard Police approved cycle stores. Following revisions, the store has been moved to a more accessible location for both the ground and upper floor units. The siting along Burford Gardens is considered appropriate however as the space is within the rear garden area it is important to ensure that the enclosure will provide adequate safety and screening from overlooking for the ground floor unit. As such a condition should be imposed for details of the enclosure.

Refuse Storage and Access

9.32 Policy DMD 47 requires servicing arrangements must ensure vehicles can reach the necessary loading, servicing, and parking areas. All development to make provision for attractive, safe, clearly defined and convenient routes and accesses for pedestrians including those with disabilities. The refuse bins are sited in an accessible location to the rear along Burford gardens in accordance with Enfield's waste and recycling storage planning guidance. Transportation officer considers the proposed location and capacity of refuse and recycling provision acceptable.

9.33 With regards to access, the Transportation officer was initially concerned that the width of the back of footway was in excess of the vehicle crossover. The applicant has submitted revised layout, reducing the back of footway access

width to avoid illegal crossing of the footway. The access arrangements are now satisfactory

Landscaping and Biodiversity

9.34 Policy DMD 81 sets out that developments must provide high quality landscaping that enhances the local environment and should add to the local character, benefit biodiversity, help mitigate the impacts of climate change and reduce water runoff. The development includes proposals to provide new soft landscaping to the front garden area together with a new boundary wall. Further details of the proposed landscaping including the type of shrubs and grass to be planted and the maintenance systems would be required and thus imposed by way of a planning condition.

Energy

9.35 Policy DMD 49 require that new developments achieve the highest sustainable design and construction standards having regard to technical feasibility and economic viability and include measures capable of mitigating and adapting to climate change to meet future needs. Policy DMD 51 (Energy Efficiency Standards) require all developments to demonstrate how the proposal minimises energy-related CO2 emissions in accordance with the set criteria.

9.36 The applicant has provided an Addendum to the design and access statement providing information on how the development shall meet policy compliant energy efficiently standards. Energy conscious construction including provision of high level of thermal insulation and efficient heating and lighting installations, external materials to be maintenance free, sound insulation test certification to be implemented to control noise transfer, PIR lighting control detectors used to minimise light pollution and energy saving. The measures proposed would be helpful to enhance the energy efficiency and minimise CO2 emissions for the refurbished dwelling the implementation of which shall be secured by way of a planning condition.

Water Consumption/Efficiency:

9.37 Policy DMD 58 (water efficiency) expects new residential development, including new build and conversions, will be required to achieve as a minimum water use of under 105 litres per person per day. The applicant has provided a raft of water saving measures to improve water efficiency. The target water consumption in litres per day will be 80 litres/person/day. The targets are to be achieved by use of efficient washing machines, pressure reduction valves, flow regulators/restrictors, aerated and spray tap/shower fittings, two stage taps with water brakes, reduce pipe lengths, reduce pipe bores below the standard 15mm where appropriate, minimize dead legs in the plumbing system, insulate hot water pipes and position them above cold pipes and insulated water stores. These measures would adequately enhance the water use efficiency in the development.

10.0 Community Infrastructure Levy (CIL)

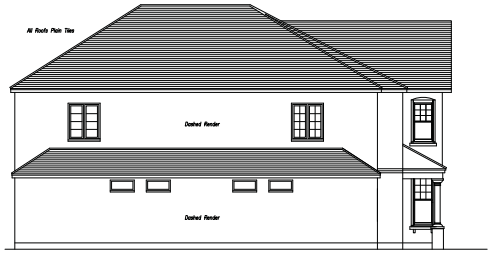
10.1 The proposed development would not be liable for both the mayoral and Enfield CIL as the proposals do not result in creation of additional floor area.

11.0 Conclusion

11.1 The development will result in the creation of four good quality residential units with generous internal floorspace provision to satisfy national space standards, and provision of a family sized unit without impacting on the external façade and fabric of the building or neighbouring residential amenity. In addition, the layout, design and setting of a new landscaping scheme to the front of the site with new front boundary treatment detail and a landscaped rear garden will enhance the appearance of the site and provide excellent external amenity space to future residents of the site and enhance its setting and appearance within the Lakes Estate Conservation Area.

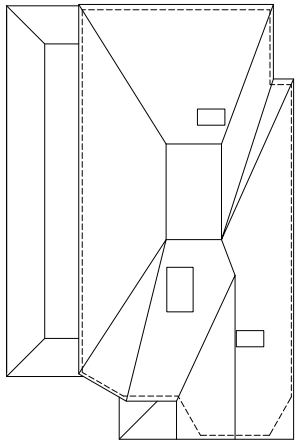
Existing Flank Elevation 1:100

Existing Rear Elevation 1:100

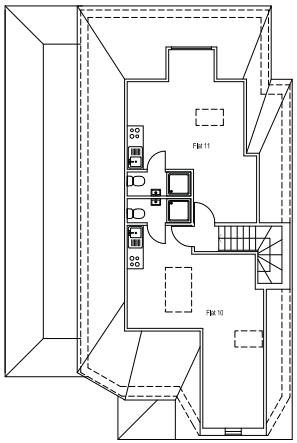


Existing Side Elevation to Burford Gardens 1:100

Existing Front Elevation 1:100



Existing Second Floor Plan 1:100



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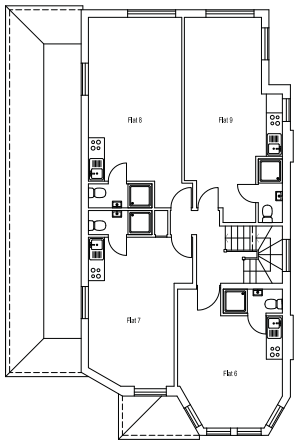

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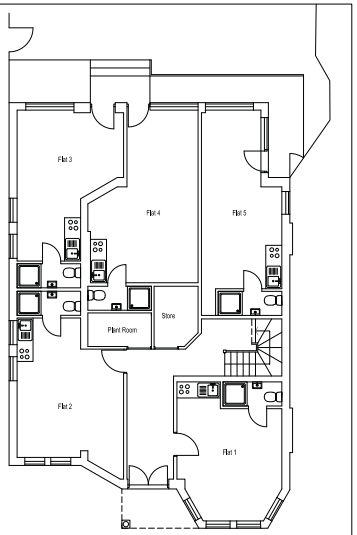
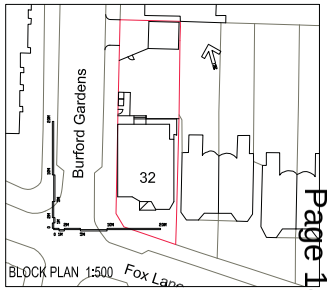
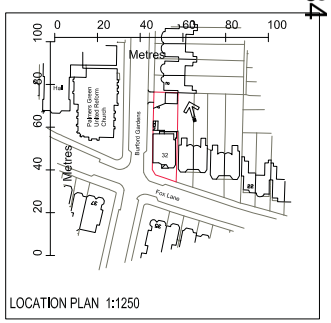


Existing Ground Floor Plan 1:100





LOCATION PLAN 1:1250

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Job
RENDLESHAM LODGE 32 FOX LANE LONDON N13 4AH

Drawing Title	Scale
EXISTING BUILDING . . .	1:100 @ A1
	Job No 6891

Drawing No	Date	Rev No
6891 ED1	March 2019	.

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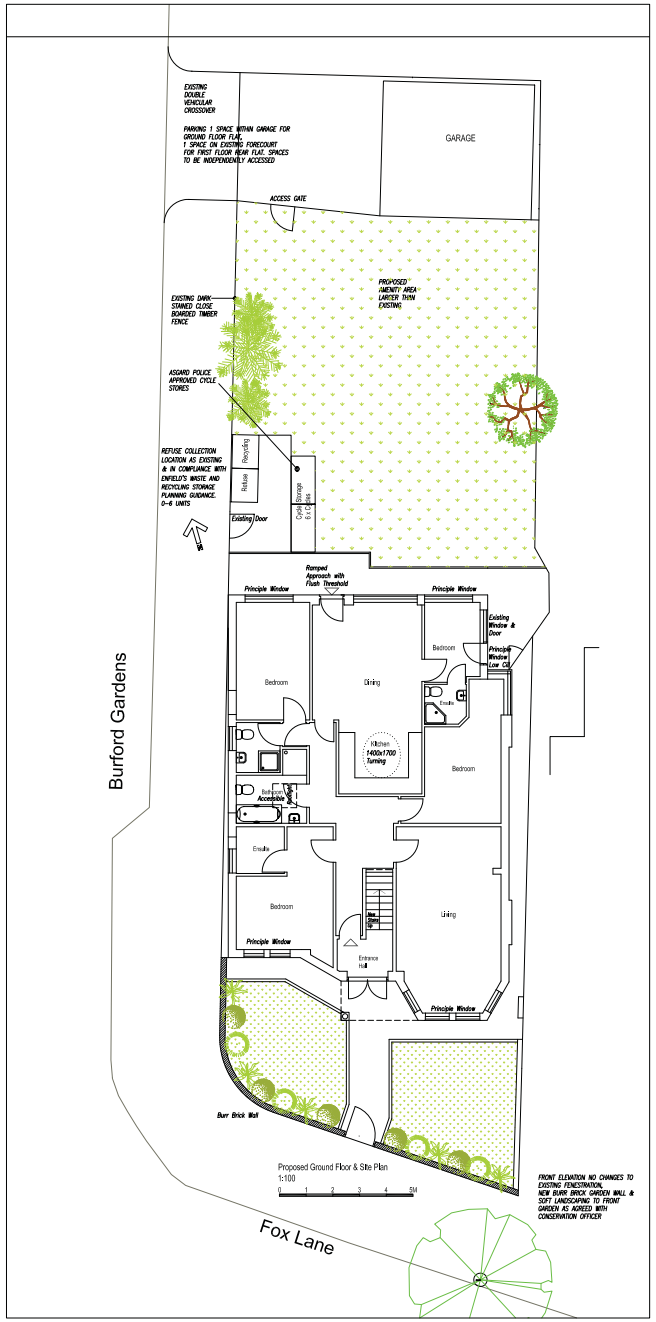
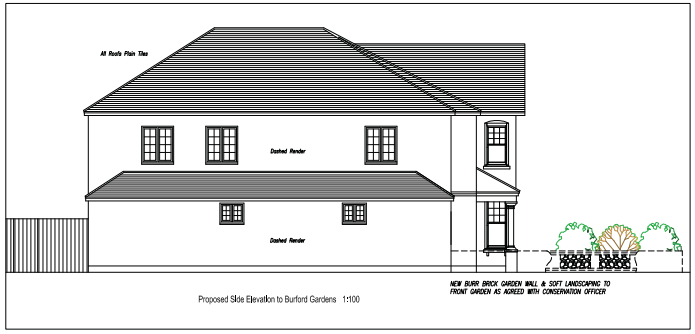
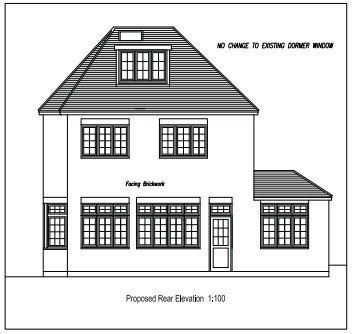
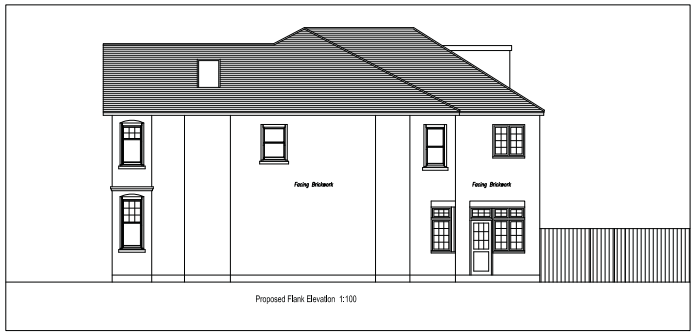




Proposed Side Elevation to Burford Gardens 1:100

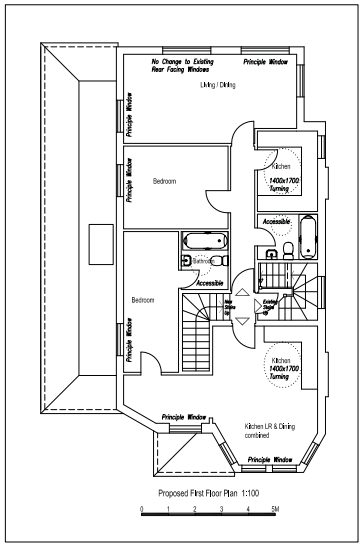


Proposed Rear Elevation 1:100

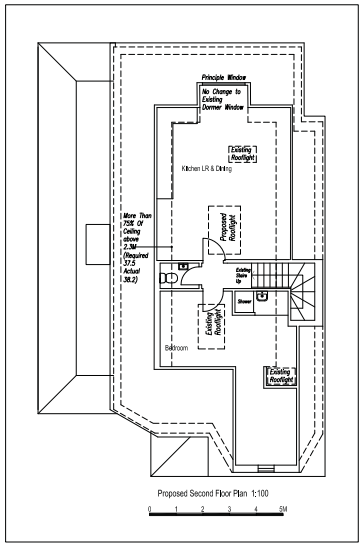


Proposed Flank Elevation 1:100

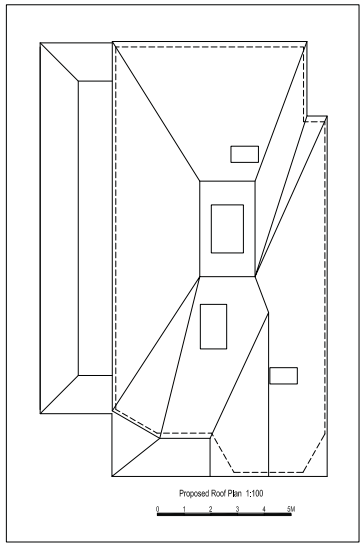
Proposed Front Elevation 1:100 - No Change To Fenestration



Proposed First Floor Plan 1:100



Proposed Second Floor Plan 1:100



Proposed Roof Plan 1:100

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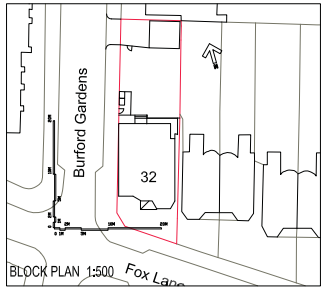

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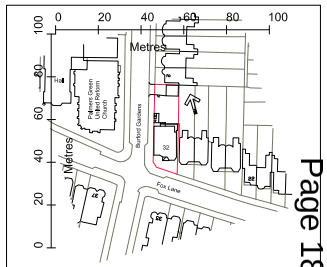

LOCATION PLAN 1:1250

Rev C 07.08.19 Revisions as requested by PO.

Rev B 25.07.19 Revisions as requested by PO.

Job	
32 FOX LANE LONDON N13 4AH	
Drawing Title PROPOSED RECONFIG. TO FOUR FLATS . .	Scale 1:100 @ A1 Job No 6891

Drawing No	Date	Rev No
6891 P21	March 2019	C

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LONDON BOROUGH OF ENFIELD

PLANNING COMMITTEE	**Date** : 27th August 2019

Report of Head of Planning	**Contact Officer:** Andy Higham Ms Kate Perry Tel No: 020 8379 3853	**Ward:** Turkey Street

Ref: 19/01183/RE4	**Category:** LBE - Dev by LA

LOCATION: Fern House School, Keswick Drive, EN3 6NY,

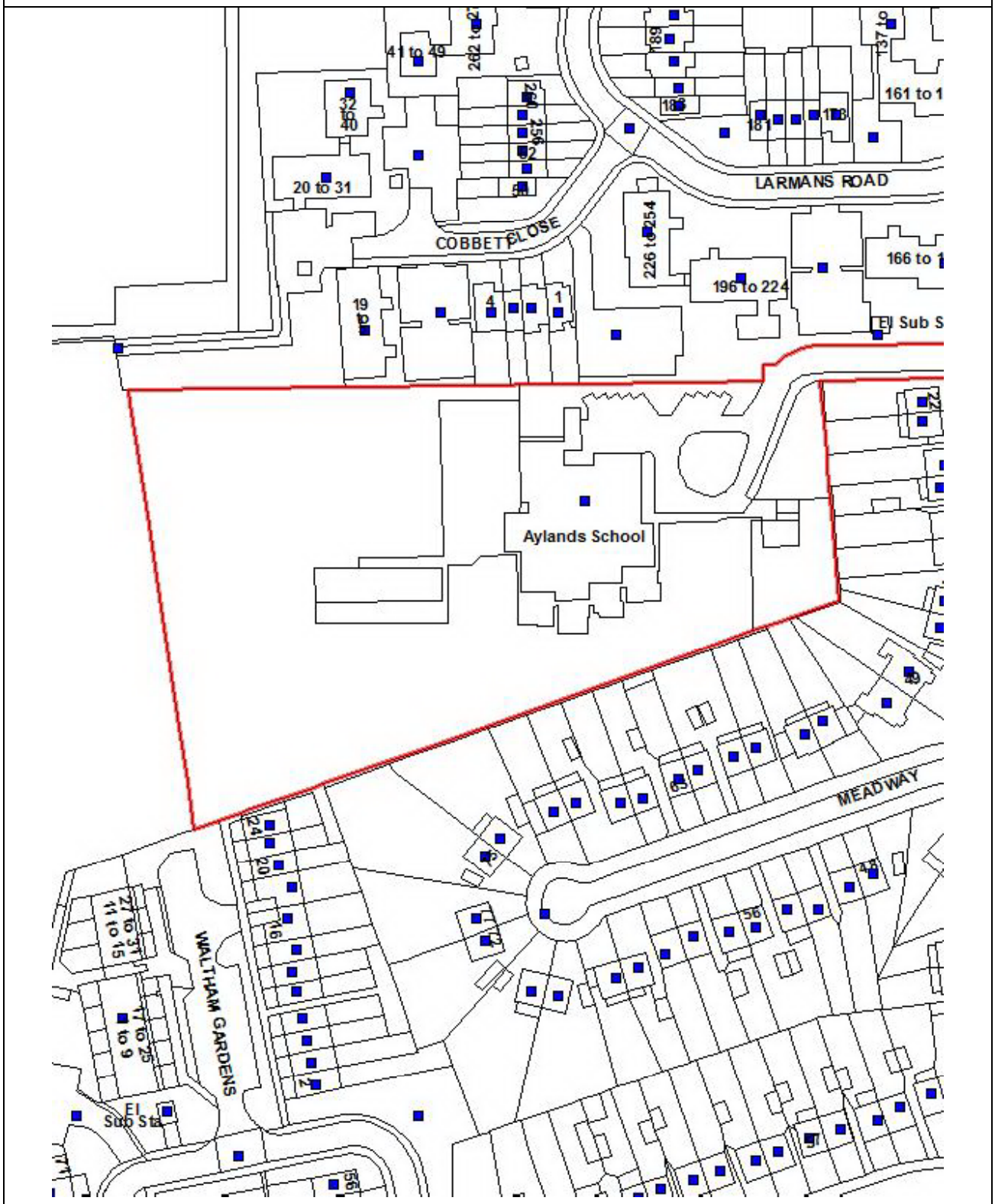
PROPOSAL: Demolition of existing school building, modular classroom buildings and caretakers house and replacement with a part 2-storey, part single storey school building, an enclosed all-weather MUGA with external lighting, hard play areas, revised and additional car parking and associated external works (revised plans).

Applicant Name & **Address:** London Borough of Enfield Silver Street	**Agent Name** & **Address:** Mr Richard Bryant Nicholas House River Front Enfield EN13TF

ADDENDUM:
It is recommended that,in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, planning permission be deemed to be **GRANTED** subject to the conditions contained within the original report to the committee dated 16 July 2019

Note for Members: This application is reported to the Planning Committee as a Council planning application and major development scheme

Ref: 19/01183/RE4 **LOCATION: Fern House School, Keswick Drive, EN3 6NY,**



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North

1. Executive Summary

1.1 This application was considered by the planning committee on 16 July 2019. The application was deferred by Members in order to address two specific issues raised by the planning committee.

- The first issue related to the provision of a statement of community use to add weight to the 'special circumstances' argument put forward in relation to development on the Metropolitan Open Land (MOL); and,
- The second issue related to a request to provide more information in relation to fire prevention and protection.

1.2 These are addressed in turn below. This addendum should be read in conjunction with the original report prepared for the planning committee on 16 July.

2. Community Use Statement

2.1 Further to the planning committee on 16th July 2019 a community use statement has been submitted to the Council. The document seeks to demonstrate how the facilities provided on the school site will be available to community groups outside of the usual opening hours of the school and how this will be promoted within the community. The submitted document states the following:

- Fern House School proposes to provide a variety of activities available to the wider community, ranging across the educational, economic and sporting spectrum. To include uniformed organisations for example:
  a. Police Cadets
  b. Brownies
  c. Scouts
  d. Guides

- Other organisations for example:
  a. Adult Yoga groups - for health improvement and development of their skills, particularly amongst low participant groups.
  b. Karate
  c. Judo
  d. Faith meetings
  e. Youth provision 13 to 16 years and mixed community provision depending on demand.

- The school will market and promote the facilities for community use in accordance with the agreed aims and targets in the school. It will be marketed as a welcoming, safe, fun environment that encourages more people to participate in sport and physical activity and reviewed on an annual basis.

- The use of the school for community use will help students to appreciate their wider responsibilities as part of the local community and the facilities will encourage the range, quality and number of school sports club links to stimulate competition and that is inclusive of young people and adults.

- Such community use will help to place the school at the heart of the local community and strengthen the relationship between the school and its community. Increasing the number of people of all ages and abilities participating in sport and physical activity including people with disabilities.

- The Governing Body will be asked to investigate and promote the school's facilities offered to the Local Community:

  a. Physical and group use of the school hall by Multi-agency support for children and families on the school site. Signposting to services and activities, for example, child care providers, health advice.
  b. Floodlit Multi-Use Games Area (MUGA) for a variety of uses, to include local 5-a-side football, training pitch for local football teams, netball and tennis clubs for local children and adults. The MUGA facility would be made available from 4:30pm until 9pm, offering changing/shower/WC facilities and disabled shower/WC changing facilities.
  c. Gym/Dance Studio
  d. School Hall Use to include Badminton. Changing/Shower/WC facilities and Disabled Shower/WC Changing facilities
  e. School Kitchen – catering, children's parties, celebrations
  f. Car Parking for Community Use

- The building design has taken into account the use of the premises for community use, with a designated entrance into the building for community use, and an adjacent car parking area.

- The site offers:

  a. Practical spaces that are clutter/equipment free, clean – (especially sports floors and outdoor surfaces, and well maintained (lighting and equipment).
  b. Clear community signage with safe and well lit routes for pedestrians, cyclists and cars.
  c. Door widths to meet published guidance, making movement easier for people pushing buggies, manoeuvring sports chairs, carrying large sports bags.
  d. The MUGA will be fob controlled, providing direct access into the MUGA.

2.2 The statement identifies that the scheme has been designed with access to the wider community in mind. Given the range of opportunities and facilities available it is considered the school site will provide a well-designed and functional space which will operate effectively for a number of uses that will benefit the wider community.

2.3 With specific regard to the site's Metropolitan Open Land (MOL) location, it is recognised that whilst the main school building, both as existing and a rebuilt, is not located on land designated as MOL, there is an existing large single storey building that presently projects significantly into the MOL that will be removed from the site as part of the redevelopment proposals, being replaced by the comparatively insubstantial MUGA. It is considered that the scheme would therefore have limited physical intrusion into the MOL and would improve the openness of the MOL. The range of community benefits described above provide a significant supporting factor.

2.4 The key impact on the MOL, having regard to relevant policy, is the floodlighting proposed for the proposed MUGA. Having regard to the 'very special circumstances' put forward in the main committee report dated 16th July 2019 and the additional information provided here, it is considered that the limited impact on the MOL is acceptable having regard to the wider community benefits proposed.

3. Fire Safety/ Protection

3.1 Since the planning committee on 16th July 2019, the Agent for the application has submitted additional information in relation to fire safety and protection. A swept path analysis for a fire tender has been submitted and a revised site plan has been submitted which shows a new fire hydrant added.

3.2 This additional information has been inspected by the London Fire Commissioner who has advised that the Commissioner is now satisfied with the proposals. They advise that consideration of BB100 (use of sprinkler systems) should be considered in the building control stage of this development not the Town and Country Planning stage as previously stated in their comments of July 2019.

3.3 The Fire Commissioner acknowledges that this is a matter to be considered as part of the building regulations process and does not form part of the planning process.

4.0 Conclusion

4.1 Having regard to the additional information provided, and the original report presented to the committee on 16th July 2019, it is considered that the proposals remain acceptable and planning permission should be granted subject to conditions.

1.0 Note for Members

This application is reported to Planning Committee because is categorised as a major application and is submitted on behalf of the Council. Under the scheme of delegation, the requires the proposal to be considered by the Planning Committee

2.0 Recommendation / Conditions

2.1 That in accordance with Regulation 3 of the Town and Country Planning General Regulations 1992, planning permission be deemed to be GRANTED subject to the following conditions:

1. Time Limited Permission – 3 years
2. development in Accordance with Approved Plans
3. Details of Materials
4. Details of the Surfacing Materials
5. Details of Acoustic Report
6. Details of Construction Management Plan
7. Details of Retained Trees / Proposed Landscaping
8. Details of the proposed fencing
9. Details of a Community Use Scheme
10. Confirmation of Compliance with Secure by Design
11. Details of a STARS compliant travel plan
12. Details of a construction traffic management plan
13. Details of a revised pedestrian route realigned for people and exiting cars/ taxis
14. Details of a Construction Waste Management Plan
15. Details of the ‘railing fence’ to the southern side of the proposed terrace
16. MUGA Hours of Use – No Later than 21:00
17. Windows in the first floor north and south elevations serving the proposed corridor shall be fixed shut and in obscure glass
18. Demolition works undertaken under the supervision of an appropriately qualified ecologist
19. Bird Habitat / Nesting Protection
20. Scrub Clearance

21. Fox Habitat Safeguards

22. Bird / Bat Boxes

23. Details of Fire Safety Strategy

24. Details of Green / Brown Roof

25. Restricted Use of Flat Roofs

26. Confirmation of BREAM “VERY GOOD”

27. Details of the Sustainable Drainage Strategy

28. SuDS Verification Report

29. Tree Work in Accordance with Arboricultural Report

30. Details of a management Plan for the existing copse in the north western corner of the site

31. Details of an Employment and Skills Strategy

3.0 Executive Summary

3.1 The proposal is borne out of an established need to deliver more secondary school places and involves the construction of a part 2-storey, part single storey school building, an enclosed all-weather MUGA with external lighting, hard play areas, revised and additional car parking and associated external works.

3.2 The school teaches primary and secondary school children with social, emotional and mental health (SEMH) needs aged between 7 and 16 years and the development proposals will support an increase in the number of pupils from 48 to 64. This will be accompanied by an increase in full time equivalent (FTE) staff of 12, from 23 to 35

3.3 Although the proposal involves development on metropolitan open land, the disposition of buildings and development has seen carefully considered to minimise visual impact on the open character and a “very special circumstances” case has been accepted in respect of the proposed MUGA element. Sport England also confirm no objection to the creation of the MUGA which involves the loss of some existing playing field given the overall benefits being delivered.

3.5 It is considered the development proposals respond to local context in terms of design and due to the relationship to neighbouring properties, will preserve the residential amenities of neighbouring occupiers. Moreover, careful consideration to the retention of trees, landscaping and biodiversity has been integrated into the proposals to address these matters with appropriate conditions recommended. Sustainable construction in terms of its approach to drainage and energy is also set out and subject to conditions, is acceptable

3.6 The level of parking is considered acceptable although a condition to encourage a STARS complaint travel plans will seek to reinforce the acceptability of the proposed development in terms of traffic generation and highway safety

3.7 Overall, the proposed scheme is considered to meet an established need for residents of the Borough and would appropriate integrate into the character and amenities of the surrounding area.

4.0 Site and Surroundings

4.1 The site is located within a residential area of north-eastern Enfield, within the Turkey Street ward. It comprises a largely back land, wedge-shaped site that is accessed by a driveway off the north western end of Keswick Drive: a residential cul-de-sac that is characterised predominantly by two storey semi-detached houses. The access drive runs alongside the end house and garden at No. 22 Keswick Drive.

4.2 To the north, the site is bounded mostly by modern three storey blocks of flats on Larmans Road and Cobbett Close plus a short terrace of two storey houses. To the south it is bounded by the rear gardens of the two storey semi-detached houses of Meadway and further east by the northern extent of Waltham Gardens, a cul-de-sac that has two storey terraced housing on its eastern side and four storey maisonette blocks on its western side. To the west, the site is separated by a fence from a plot of open space, which is crossed with established walking routes, beyond which lies a row of four storey blocks of flats fronting Teal Close.

4.3 The school comprises of a single storey building located on the front third of the site, served by a hard-surfaced area laid out for parking and circulation. A hard-surfaced area to the rear separates the main block from a rearward projecting single storey modular building, perpendicular to the main block. The rear half of the site is designated in the Council's Development Management Document 2014 Proposals Map as Metropolitan Open Land (MOL) and contains and surrounds the existing modular single storey building that forms part of the school.

4.4 The site is not located within a Conservation Area and does not contain a Listed Building. There are also no trees on the site which are subject to a Tree Preservation Order.

5.0 Proposal

5.1 Permission is sought for the demolition of existing school building, modular classroom buildings and caretakers house and their replacement with a part 2-storey, part single storey school building, an enclosed all-weather MUGA with external lighting, hard play areas, revised and additional car parking and associated external works.

5.2 The school teaches primary and secondary school children with social, emotional and mental health (SEMH) needs aged between 7 and 16 years and the development proposals will support an increase in the number of pupils from 48 to 64. This will be accompanied by an increase in full time equivalent (FTE) staff of 12, from 23 to 35.

5.3 The number of car parking spaces will increase from 16 to 30 spaces and new cycle parking will also be provided for 14 bicycles.

6.0 Relevant Planning History

6.1 In February 2017 pre-application advice was sought in respect of the proposed demolition of existing building and erection of a single storey school building,

provision of an enclosed MUGA, installation of temporary double classroom, new vehicular and pedestrian access (17/00847/PREAPP)

6.2 In September 2010, planning permission was granted for the erection of a detached temporary classroom with a wheelchair/disability access ramp to the north of previously existing buildings, near to the school's northern boundary. (TP/10/1035)

6.3 In November 2006 planning permission was granted for the installation of a temporary building to provide 1 classroom with ancillary facilities. (TP/06/1838)

6.4 In July 1997 planning permission was granted for the extension of the existing playground by the installation of additional hard landscape areas and removal of existing mound. (LBE/97/0014)

6.5 In September 1995 planning permission was granted for the installation of a temporary building to accommodate 2 additional classrooms and ancillary facilities, together with provision of an additional 4 car parking spaces. (LBE/95/0010)

7.0 Consultations

Statutory and non-statutory consultees

Internal

7.1 Traffic and Transportation: No objections – subject to conditions

7.2 Environmental Health: No objections subject to conditions

7.3 Tree Officer: No objections subject to conditions.

7.4 SUDs Officer: No objections to the SUDs strategy. Detailed design, cross sections and specifications are to be provided by condition.

7.5 Highway Maintenance: No objection to revised proposals subject to condition

External

7.6 Sports England: No objection as the development would not reduce the sporting capability of the site. Community use condition recommended.

7.7 Designing Out Crime Officer: No objection subject to a secure by design condition.

7.8 Thames Water: No objections.

7.9 London Fire Brigade: Advise that a fire strategy will be required by condition to ensure that the requirements of the LFB are met.

8.0 Public

8.1 Consultation letters were sent to 234 neighbouring residential. There have been 2 rounds of public consultation. The first between 4.4.2019 and 25.4.2019 and the second between 10.6.2019 and 1.7.2019. The second round of consultation was undertaken as amendments to the proposals were received. In particular additional details about external lighting, including security lighting and lighting for the proposed

MUGA, were provided. Two responses have been received at the time of writing this report. The following objections have been raised (in summary):

- Close to adjoining properties
- Development too high
- Increase of pollution
- Loss of light
- Loss of privacy
- Noise nuisance
- Concern re location of additional car parking – don't want it near gardens as could result in additional pollution
- Concern regarding potential for additional overlooking – additional tree planting may help.
- The 2 storey element may disrupt light.
- Concern re noise and security lighting at night.
- Concern re pupils climbing on to the roof of the 2 storey element
- Concern re lighting for the MUGA which will be used outside school hours – leading to extra noise and lighting up to 10 O'clock at night.

9.0 Relevant Planning Policies

9.1 London Plan (2016)

Policy 3.16 Protection and Enhancement of Social Infrastructure
Policy 3.18 Education Facilities
Policy 5.1 Climate change mitigation
Policy 5.2 Minimising carbon dioxide emissions
Policy 5.3 Sustainable design and construction
Policy 5.7 Renewable energy
Policy 5.10 Urban greening
Policy 5.11 Green roofs and development site environs
Policy 5.12 Flood risk management
Policy 5.13 Sustainable drainage
Policy 5.14 Water quality and wastewater infrastructure
Policy 5.15 Water use and supplies
Policy 5.16 Waste self sufficiency
Policy 6.9 Cycling
Policy 6.13 Parking
Policy 7.4 Local character
Policy 7.6 Architecture
Policy 7.17 Metropolitan Open Land
Policy 7.19 Biodiversity and Access to Nature

9.2 Local Plan - Core Strategy (2010)

CP8 Education
CP20 Sustainable Energy use and Energy Infrastructure
CP21 Delivering Sustainable Water Supply, Drainage and Sewerage Infrastructure
CP22 Delivering Sustainable Waste Management
CP30 Maintaining and Improving the Quality of the Built and Open Environment
CP33 Green Belt and Countryside
CP34 Parks, Playing Fields and Other Open Spaces
CP36 Biodiversity

9.3 Development Management Document (2014)

DMD16 Provision of New Community Facilities
DMD37 Achieving High Quality and Design-Led Development
DMD38 Design Process
DMD42 Design of Civic Buildings
DMD45 Parking Standards and Layout
DMD47 New Roads, Access and Servicing
DMD49 Sustainable Design and Construction Statements
DMD51 Energy Efficiency Standards
DMD53 Low and Zero Carbon Technology
DMD57 Responsible Sourcing of Materials, Waste Minimisation and Green Procurement
DMD58 Water Efficiency
DMD71 Protection and Enhancement of Open Space
DMD74 Playing Pitches
DMD78 Nature Conservation
DMD79 Ecological Enhancements
DMD80 Trees on Development Sites
DMD81 Landscaping

9.4 Other Material Considerations

National Planning Policy Framework (NPPF)
National Planning Practice Guidance (NPPG)

10.0 Analysis

Principle of Development

Educational Need

10.1 Policy 3.18 (Education Facilities) of the London Plan 2016 states that:

"The Mayor will support provision of childcare, primary and secondary school, and further and higher education facilities adequate to meet the demands of a growing and changing population…Development proposals which enhance education and skills provision will be supported, including new build, expansion of existing or change of use to educational purposes. Those which address the current and projected shortage of primary school places and the projected shortage of secondary school places will be particularly encouraged."

10.2 The policy continues and states that:

"In particular, proposals for new schools, including free schools should be given positive consideration and should only be refused where there are demonstrable negative local impacts which substantially outweigh the desirability of establishing a new school and which cannot be addressed through the appropriate use of planning conditions or obligations."

10.3 Policy 3.18 also states that:

"Development proposals which maximise the extended or multiple use of educational facilities for community or recreational use should be encouraged."

10.4 Strategic Objective 5 of the Local Plan Core Strategy 2010 (Education, health and wellbeing) seeks to ensure the capacity and quality of local social infrastructure provision, including schools, is sufficient to meet the needs of Enfield's existing population and new residents and address the inequalities in educational attainment between Enfield's residents particularly in areas such as Edmonton Green, Enfield Highway, Ponders End, Turkey Street and Upper Edmonton, where these issues are more prevalent.

10.5 The proposals need also to be considered against Policy 8 (Education) of the Core Strategy which seeks to contribute to improving the lives and prospects of children and young people by supporting and encouraging provision of appropriate public and private sector pre-school, school and community learning facilities to meet projected demand across Enfield. It states that new facilities should be provided on sites that offer safe and convenient access by pedestrians, cyclists and public transport users, and schools will be encouraged to allow the use of buildings for other community purposes in the evenings and at weekends.

10.6 Having regard to the above policies, it is clear that the principle of providing new or enhanced educational facilities is strongly supported by adopted policy and the strategic aims of the Council. In this case there is an existing school on-site and therefore no objections are raised to the principle of providing an enhanced educational establishment.

10.7 However, whilst the principle of providing an improved educational facility is supported, there are other in principle matters that must be addressed in this case. These include the principle of development on Metropolitan Open Land and the partial loss of a natural sports field. These are considered in turn below.

Metropolitan Open Land

10.8 The proposal involves development on land designated as Metropolitan Open Land. Policy 7.17 (Metropolitan Open Land) of the London Plan states that:

"The Mayor strongly supports the current extent of Metropolitan Open Land (MOL), its extension in appropriate circumstances and its protection from development having an adverse impact on the openness of MOL."

10.9 Policy 7.17 also confirms that the policy guidance of paragraphs 133-142 of the NPPF on Green Belts applies equally to Metropolitan Open Land and that inappropriate development should be refused, except in very special circumstances. Essential ancillary facilities for appropriate uses will only be acceptable where they maintain the openness of MOL. Education is not defined as an appropriate use within the MOL.

10.10 Core Policy 34 (Parks, Playing Fields and Other Open Spaces) of the Enfield Core Strategy 2010 states that the Council will protect and enhance existing open space and seek opportunities to improve the provision of good quality and accessible open space in the Borough by protecting Metropolitan Open Land (MOL) and extending its designation to include green chains that meet MOL designation criteria.

10.11 It also requires improvements to open space and allotment provision through increasing the access to, quantity and quality of publicly accessible open spaces and supporting the community use of non-public open spaces, with priority given to addressing areas of deficiency identified in the Enfield Open Space Study, particularly in the south and east of the Borough.

10.12 Policy DMD71 (Protection and Enhancement of Open Space) of the Enfield Development Management Document 2014 states that inappropriate development on land designated as Metropolitan Open Land will be refused except in very special circumstances. In addition, Policy DMD74 (Playing Pitches) states that:

"1. Development involving the loss of playing field land and sports pitches will not be permitted.

2. The preference for new playing field land and sports pitches is natural grass pitches. The Council will only permit artificial grass pitches if all of the following criteria are met:

a. The location must have very good accessibility by public transport;
b. The site must have adequate road access and be able to accommodate car parking;
c. The site must be level and have suitable ground conditions;
d. The proposal must not harm the character or appearance of the area;
e. There is no harm to residential properties in terms of noise and light pollution;
f. There is no adverse impact on local flora and fauna.

3. Applications for new artificial pitches must provide details of proposed landscaping, enclosure and lighting. Applicants must demonstrate how lighting has been designed to prevent loss of amenity to local residents or harm to biodiversity.

4. Applications for artificial pitches that incorporate flood lighting on Metropolitan Open Land and in the Green Belt will be refused unless justified through very special circumstances."

10.13 Having regard to the above policies, it is noted that the new building has been sited on the eastern half of the site which does not fall within the MOL designation. However, the proposed MUGA, fencing and floodlights, playground and equipment, grass pitch, cricket nets and the new fencing to the existing copse would fall within the MOL boundary. There is an existing temporary classroom building currently sited on the MOL and this will be removed.

10.14 In relation to criterion 4 of DMD 71, the addition of the MUGA, which incorporates flood lighting, is perhaps the most significant issue here and requires justification through the submission of a case of 'Very Special Circumstances'. This has been made as follows:

"The needs case for the MUGA is clear in that it is essential to meeting the sporting activity needs of the Fern House pupils. It will also bring significant recreational benefits to the wider community. The MUGA has been sited to minimise its impact on the school site and leave the maximum possible area available for traditional field sports that require a grass surface. The MUGA will complement and enhance this existing provision by enabling multiple sports to be played year-round on an all-weather surface. It will enable more varied and intensive sports use of the site, including longer hours facilitated by the proposed floodlighting. The proposal therefore clearly meets the policy test of providing better quality sports and recreation provision to off-set the loss of existing MOL. It is concluded that the replacement of part of the existing playing field with a MUGA is fully justified in the context of national, London and Enfield planning policies….The MUGA has been sited between the proposed new building and the existing copse in order to minimize its impact on the openness of the site. The MUGA will therefore 'read' as part of the prevailing

semi-urban character of the site while leaving the rest of the MOL completely open….In addition, every effort has been made to limit the footprint of the MUGA and height of the fencing to the minimum possible while ensuring the proper functioning of the facility."

10.15 Having regard to the above, it is considered that an acceptable case of 'Very Special Circumstances' has been made. The MUGA with flood lighting will enhance the sporting facilities for pupils at the school and will also have a wider public benefit as it will be available for community uses outside of school hours. Lighting details have been provided to demonstrate that the type of flood lighting proposed will minimise light spillage and will concentrate light directly on to the MUGA.

10.16 Furthermore, in terms of the impact openness, the siting of the MUGA is such that it will be read against the existing school building to the east and three storey residential dwellings to the north. To the south and separated from the MUGA by the retained playing field are 2 storey residential dwellings. It is noted that the MOL contained within the school site is bounded to the north and south by residential properties which extend significantly further west than the existing school building. Therefore, it is considered that development within this area of MOL is less sensitive in terms of its impact on openness. Fencing has been designed to blend in with the landscape in terms of colour which will minimise the visual impact.

10.17 With regard to the other built development on the MOL, it is noted that the structures contribute and enhance the use of the land as a facility for outdoor sport and recreation in association with the primary use of the site as a school. Having regard to the siting of the development with existing buildings to the north, east and west, the developments will have very little impact on the openness of the wider MOL. The existing single storey classroom, which is built on the MOL, will be removed.

10.18 Having regard to the above assessment, it is considered that the proposals will be acceptable in terms of their impact on Metropolitan Open Land. A case of 'very special circumstances' has been put forward to justify the proposed MUGA floodlighting. The special circumstances put forward make a case which justify the development that outweighs the identified harm to the MOL by reason of its inappropriateness. This includes the provision of superior sporting facilities which meet the educational requirements of the school and also the provision of a community facility which will have a wider public benefit.

Loss of Natural Playing Field

10.19 Following on from the impact on the MOL, the impact on the existing natural playing field must also be considered. The proposed MUGA will be built on part of an existing grass playing field. Paragraph 97 of the NPPF is concerned with the loss of playing fields. It states that existing open space, sports and recreational buildings and land, including playing fields, should not be built on unless:

- an assessment has been undertaken which has clearly shown the open space, buildings or land to be surplus to requirements; or
- the loss resulting from the proposed development would be replaced by equivalent or better provision in terms of quantity and quality in a suitable location; or
- the development is for alternative sports and recreational provision, the needs for which clearly outweigh the loss.

10.20 The NPPF is supported by Policy DMD 74 which seeks to resist the loss of natural playing pitches unless it can be demonstrated that the loss is clearly outweighed.

10.21 In this case the proposed MUGA would be located on part of the existing school playing field to the western side of the existing school building. Whilst the development will result in the loss of part of the natural grass playing field, the proposal will re-provide an enhanced sports facility for the existing pupils which can be used for more of the year than the existing playing surface. Furthermore, a large area of grass playing field will be retained. In this regard it is considered that the proposed MUGA is acceptable in principle.

10.22 This view is supported by Sport England who have advised that they have had to consider the application against their exception policy E5. This states that:

> *The proposed development is for an indoor or outdoor sports facility, the provision of which would be of sufficient benefit to the development of sport as to outweigh the detriment caused by the loss of the playing field or playing fields.*

10.23 In consideration of this policy Sport England have advised that the MUGA would provide a year round sporting facility which would be of sufficient benefit to outweigh the loss of this area as playing field. In addition, the MUGA will be available to clubs after school, at weekends and during school holidays. These clubs are often run by outside organisations that cater for the wider community and not just children that attend the school. This is a welcome community benefit which weighs further in favour of the development. Sport England have recommended that a community use scheme be provided which sets out how the facilities will be used for wider community purposes. This will be required by condition.

10.24 In light of the above the principle of the development is accepted. However, it must be appraised in relation to other material considerations including, amongst others, achieving a development which is in keeping with the character of the area; maintains adequate amenity for nearby residential properties; and provides sufficient access, servicing and parking provision commensurate with the scale of new development and in accordance with adopted policy.

Conclusion

10.25 Overall, the principle of the educational development in terms of need, development on metropolitan open land and loss of open playing field, when weighed against policy, is considered acceptable.

<u>Impact on the Character of the Area</u>

Design

10.26 The NPPF (section 12) confirms that the Government attaches great importance to the design of the built environment, with good design being a key aspect of sustainable development. London Plan policies 7.4, 7.5 and 7.6 confirm the requirement for achieving the highest architectural quality, taking into consideration the local context and its contribution to that context. Design should respond to contributing towards “a positive relationship between urban structure and natural landscape features…”

10.27 Civic buildings are required by DMD42 to be of a high standard and prominence within their community. They need to communicate their importance and function through architectural cues; they should positively address the public realm; have entrances which are prominent; and be designed to accommodate alternative uses.

10.28 The site is accessed via a driveway off Keswick Drive. It is largely obscured from views from public vantage points and is surrounded by the side and rear of two and three storey residential dwellings to the north, east and south. To the west there is an area of MOL from which the site is perhaps most publicly visible. However, views are limited by the existing fencing and mature vegetation boundary. Furthermore, the built area of the site will be well separated from this boundary by the retained school playing field.

10.29 The new building has a maximum height of 2 storeys (maximum height 9.4m) with a flat roof. It would be constructed of brickwork which would be in keeping with the residential properties in the surrounding area. Glazing will be used to provide relief in the elevations and minimise the large expanses of brickwork. Details of materials will be required by condition to ensure an acceptable standard.

10.30 Whilst the building will not be prominent when viewed from the wider area, it is essential that the entrance of the building is clearly defined, and the building creates an attractive and welcoming environment for future staff and students. In this regard, the proposed building will have a projecting entrance lobby and canopy which clearly defines the entrance to the building and provides the prominence required.

10.31 Furthermore, the building has been designed to enable the dual use of it outside of school hours, with the ability to segregate the school hall, changing rooms and toilets for community use. A separate community entrance is proposed.

10.32 The overall design of the building is considered to be a sensitive response to the constraints of the site and will not detract from the character and appearance of the street scene or wider area.

Impact on Neighbouring Properties

Loss of Outlook / Light / Overlooking / Loss of Privacy / Distancing

10.33 North of the site, the nearest residential properties are approximately 18m distant and comprise the rear elevation of 2 storey terraced properties fronting Cobbett Close. The separation to these properties is provided by their rear gardens and external play areas for classrooms located towards the northern boundary. The first floor element would be set in a further 12m (approximately) from the boundary. There would be one window in the flank elevation at first floor level. This is not a primary window and will provide light for a corridor. In order to ensure privacy is maintained it is recommended that this window be obscure glazed and non-opening. This will be required by condition.

10.34 Having regard to this distancing, and subject to the imposition of a condition relating to obscure glazing, it is considered that the development will not lead to an unacceptable loss of outlook, light, overlooking and loss of privacy for the residential properties to the north having regard to Policy 7.6 of the London Plan, Core Policy 30, Policies DMD8 and DMD10 of the Development Management Document.

10.35 Turning to the southern site boundary, the new school building would be located a minimum of 25m from the nearest residential properties to the south of the site. Given this separation, the proposal does not raise concerns in relation to loss of light and outlook and nor would it appear overly dominant.

10.36 In relation to privacy and windows proposed in the southern elevation, only one first floor window is proposed. As with the northern elevation, this will provide light for a corridor and in order to ensure privacy in maintained it is recommended that it be obscure glazed and non-opening. In general, the first floor windows and doors have been concentrated to the east and west elevations to minimise any concerns relating to overlooking to the north and south which are closer to residential properties. There is glazing in the southern elevation of the proposed sports hall but as this a double height room, the glazing in the upper portion of the elevation will not result in additional overlooking.

10.37 At first floor an external terrace is proposed which will be located towards the southern site boundary. This will be contained by the proposed school building to the east and west and by a 2.4m high metal 'railing fence' to the north and south. No concerns are raised in relation to overlooking to the north due to the separation to the boundary. However, due to the proximity to the southern boundary a condition is recommended that details of railing fence are provided. It is considered that the fence should be of solid construction with no visual permeability to prevent any overlooking (actual or perceived) of the residential properties to the south.

10.38 With regard to residential properties to the east, these will be separated from the new building by a minimum of approximately 50m and therefore no concern is raised in relation to privacy, loss of light or outlook or the development appearing overly dominant for these occupiers.

Noise and General Disturbance

10.39 Paragraph 180 of the NPPF considers noise impacts of development. It confirms that policies and decisions should aim to:

- avoid noise from giving rise to significant adverse impacts on health and quality of life as a result of new development;
- mitigate and reduce to a minimum other adverse impacts on health and quality of life arising from noise from new development, including through the use of conditions;
- recognise that development will often create some noise and existing businesses wanting to develop in continuance of their business should not have unreasonable restrictions put on them because of changes in nearby land uses since they were established; and
- identify and protect areas of tranquillity which have remained relatively undisturbed by noise and are prized for their recreational and amenity value for this reason.

10.40 London Plan policy 7.15 encourages development proposals to manage noise through appropriately locating noisy activity away from noise sensitive receptors or through mitigation where appropriate. Core Policy 32 recognises the noise pollution should be minimised and DMD68 provides the criteria upon which developments will be assessed.

10.41 The current proposal is for a replacement school on an existing school site. The proposal will involve a small increase in pupil and staffing numbers (see 'proposal' section of this report) but the limited level of increase is such that it will not result in unacceptable additional noise and disturbance given the existing context.

10.42 With regard to new plant and machinery, the Council's Environmental Health Officer has requested that an acoustic report be provided to demonstrate that proposed plant and machinery will not lead to unacceptable noise implications for nearby residential occupiers. This will be required by condition. The applicant is aware that, if the results of the acoustic report are not satisfactory, equipment may need to be moved or alternative machinery employed. The applicant has agreed to this approach.

10.43 The current proposal will involve external play space extending right up to the northern site boundary which adjoins the rear gardens of properties in Cobbett Close. The applicant has confirmed that in order to minimise any disruption new 2.5m high acoustic barrier fencing will be provided along this boundary to minimise any impacts.

10.44 The proposed MUGA will be located in relatively close proximity to residential properties to the north, set in a minimum of 6m from the northern site boundary. The three storey flats closest to the proposed MUGA are positioned at a perpendicular angle to the site and therefore they will not directly overlook the MUGA. It is likely that the provision of the MUGA will concentrate activity in this area which will be available later in to the evening (due to the lighting) and for more of the year. In order to ensure any noise and disturbance is minimised a condition is recommended that use of the MUGA shall cease at 9pm. This has been agreed by the applicant.

10.45 Access and car parking for the development will be provided to the east of the proposed school building. It is considered that any noise and disturbance generated will not be significantly different to the existing situation in terms of vehicle movements. A new staff car parking area is proposed in the position of the existing caretakers house to be demolished. This will be located a minimum of 6m from the rear boundary of properties fronting Keswick Drive and in excess of a minimum of 25m from the rear elevation of the nearest buildings. Given this separation and the mature boundary planting including established trees, the new parking area will not have an unacceptable impact on the residential amenities of these properties in terms of noise and general disturbance.

10.46 Having regard to the above, it is considered that the development will not unduly impact on the existing amenity of neighbouring occupiers with regard to noise and disturbance. The development is considered to comply with Policy 7.15 of the London Plan, Core Policy 32, Policy DMD68 of the Development Management Plan.

Lighting

10.47 The NPPF advises that through the encouragement of good design, policies and decisions should limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation. The supporting text to London Plan policy 7.5 confirms the balance that must be struck between issues of safety / security and reducing light pollution. Core Policy 32 recognises the need to minimise light pollution and DMD69 confirms that development which results in light pollution that has a harmful impact on local amenity, nature conservation/wildlife and environment will not be permitted. Restrictions on the hours of operation may be imposed.

10.48 Given the sensitivities of the site, near to MOL and residential properties, an external lighting scheme should be designed to minimise the impact of light spillage / light trespass whilst obviously providing the necessary level of lighting for functional use.

10.49 It is noted that details of the lighting for the proposed MUGA have been provided and this has been accompanied by a lighting report which demonstrates that lighting for the MUGA has been designed to minimise light spillage and to concentrate lighting on the playing surface. As discussed previously, the use of the MUGA will be restricted so that It is only used until 9pm at which point the associated lighting will be switched off. This will be secured by an appropriately worded condition in order to minimise any impacts on nearby residential occupiers.

10.50 A lighting plan has also been submitted showing the other external lighting proposed on the school site. This has been minimised to reduce light spillage whilst also providing the required security for the site.

10.51 Having regard to the above and subject to the imposition of relevant conditions, the development should have sufficient regard to the impact of lighting on adjacent sensitive receptors, having regard to Core Policy 32 and Policy DMD69 of the Development Management Document.

Traffic and Highway Considerations

10.52 Policy 6.3 of the London Plan confirms that the impact of development proposals on transport capacity and the transport network are fully assessed. The proposal must comply with policies relating to better streets (Policy 6.7), cycling (Policy 6.9), walking (Policy 6.10), tackling congestion (Policy 6.11), road network capacity (6.12) and parking (Policy 6.13). Policies DMD45 and 47 provide the criteria upon which developments will be assessed with regard to parking standards / layout and access / servicing.

Trip generation

10.53 The proposed increase in staff and pupil numbers will lead to approximately 9 additional vehicles movements in the AM peak (3 for pupils by private car and 6 by staff in private cars). This is not a significant number to be accommodated on the local highway network and no concerns are raised.

Pedestrian access

10.54 Separate pedestrian access to the site and routes within it are being provided so this is acceptable.

Vehicular access

10.55 The plans have been revised to include separate car / taxi and minibus drop off routes. Traffic and Transportation have confirmed that this is acceptable in principle. However, it appears that the proposed design for cars / taxis will lead to people having to exit vehicles and cross the verge before reaching a footpath. It has been suggested the pedestrian route is realigned so it directly serves the drop off area. The applicant has agreed to this amendment and a revised plan will be required by condition.

Car Parking

10.56 In terms of car parking, the applicant’s assessment of mode share for staff shows that 50% travel by car. If staff numbers increase to 35 (FTE) and they are all on site at one time, this would indicate a requirement for approximately 18 spaces. There should also be an up to 10% allowance for visitors so approximately 20 spaces are required. 30 spaces are proposed in this case. The applicant has explained that a

higher number of visitor car parking spaces are required as many of the staff are part time and therefore the actual number of staff on site at any given time may be significantly higher than the FTE suggests. The requirements of the children are such that on top of the full-time teachers a number of specialist staff members will attend the site for a limited time each week. Therefore, a higher number of visitor parking spaces are required. Having regard to this specific need, it is confirmed have confirmed that the 30 spaces proposed are acceptable. However, the applicant should commit to seeking to achieve STARS accreditation with a focus on reducing the use of private cars for staff. This will be required by condition.

10.56 Provision for disabled parking and electric vehicle charging points is identified on the submitted plan and is acceptable.

Cycle parking

10.57 The revised plans show that 14 long-stay cycle parking spaces and two short-stay spaces will be provided. This is in accordance with the pupil and staff travel patterns and is acceptable. The long stay provision is sheltered, and the secured cycle storage area is acceptable.

Refuse and recycling

10.58 The existing arrangements will continue which is an acceptable approach.

Travel plan

10.59 The school is in the process of developing a travel plan and becoming STARS accredited. A condition of the planning permission should be that they are required to submit a STARS compliant travel plan and that they will progress with accreditation so that they are to at least a bronze standard within 1 year of the new school being occupied. The travel plan should include the existing and proposed mitigation measures as set out in the submitted Transport Statement.

Construction traffic

10.60 The location of the development (at the end of a narrow no through road) means the provision of a separate Construction Traffic Management Plan is required. This will be required by condition.

10.61 Having regard to the above, the proposal is considered to make adequate provision for access and parking in accordance with Policies 45 and 47 of the DMD.

<u>Sustainable Design and Construction</u>

Biodiversity / Ecology

10.62 Policy 7.19 of the London Plan (“Biodiversity and access to nature”) requires development proposals to make a positive contribution, where possible, to the protection, enhancement, creation and management of biodiversity. Core Policy 36 of the Core Strategy confirms that all developments should be seeking to protect, restore, and enhance sites. Policy DMD79 advises that on-site ecological enhancements should be made where a development proposes more than 100sqm of floor space, subject to viability and feasibility.

10.63 The proposal involves the demolition of existing buildings on the site. A Preliminary Ecological Survey and Bat Survey dated 30.11.16 has been submitted. This has

been followed by an addendum to the preliminary ecological appraisal dated 14.1.2019.

10.64 The proposed works are largely confined to the central section of the school which is dominated by buildings and hardstanding. The updated ecological appraisal has identified that the condition of buildings on the site has not changed since the original survey was undertaken. The buildings were subject to detailed inspection for the potential for roosting bats and evening emergence surveys for bats (undertaken in June 2017). No bats were noted emerging/ re-entering the buildings during these surveys. A condition is recommended that demolition should be undertaken under the supervision of an appropriately qualified ecologist and if any evidence of bat roosts is found works shall cease until a licence from the Statutory Nature Conservation Organisation for development works affecting bats has been obtained and a copy submitted to and approved in writing by the council.

10.65 The surveys identified evidence of common pipistrelle and Leisler's bats on site during the bat surveys in 2017. Potential foraging and commuting habitats on site include the woodland and treelines along the boundaries, which will be retained, as well as the adjacent habitats to the west of the site comprising the MOL. In order to ensure there is no adverse impact on these bats a sensitive lighting scheme is recommended. The submitted lighting scheme has been designed to minimise light spill is considered to be acceptable in this respect.

10.66 None of the trees identified as to be removed show evidence of potential to support roosting bats.

10.67 The area of woodland located on site, in the north-western corner will be retained within the proposed development. All scattered trees and the trees within the woodland area on site, to be retained within the proposals, should be protected in accordance with British Standard 5937:2012 Trees in Relation to Design, Demolition and Construction. General principles for tree protection have been outlined within the Arboricultural Impact Assessment and should be implemented to protect retained trees. This will be required by condition.

10.68 Evidence of foxes on site were also identified during the ecological assessments. Whilst foxes are not a protected species, they are subject to animal welfare laws. As such it is recommended that a pre-works checks for this species are completed by the site contractors, and an ecologist is contacted for further advice if they may be harmed during site works. Care should be taken if any areas of scrub along the western boundary of the site are to be removed. This will be required by condition.

10.69 Several widespread bird species were also noted on site during the ecological surveys. The woodland, scattered trees and areas of scattered scrub provide potential nesting habitats for breeding birds. The removal of any trees, scrub and nest boxes, should this be required, should be timed to avoid the main bird nesting season, and carried out September to February inclusive to avoid any potential offences relating to the disturbance of active nests. If this is not possible, removal works must be immediately preceded by a nesting bird check completed by a suitably qualified ecologist to confirm the absence of any active nests. If present, nests must be cordoned off by a buffer zone to protect them until the end of the nesting bird season or until the young have fledged.

10.70 The majority of the habitats on site, including the amenity grass and hardstanding have negligible potential to support widespread reptile species, but the areas of scrub on the western boundary of the site, and the deadwood piles within the woodland

area provide some potential refugia habitats for widespread reptiles. A reptile survey was carried out on the adjacent grass field to the west of the site in April 2017 to June 2017 and found that this adjacent site supported a good population of common lizards. The most recent record for common lizard is from June 2017 and located approximately 30m from the site. It is therefore likely that common lizards will be using the suitable habitats within the site boundary. As such, any areas of dense scrub or deadwood habitat piles to be removed from site must be removed under ecological supervision, following a fingertip search of the area for any reptiles by an ecologist. Any animals found must be caught and transported to an area away from potential harm (e.g. in adjacent rough grass field). This will be required by condition. This condition is also applicable to the protection of hedgehogs which have also been identified on the site.

10.71 Further enhancements to the ecological value of the site will be required by condition. These could include the provision of green roofs and/or the addition of bird and bat boxes to the building and surrounding trees. Each of the aforementioned can be secured by condition.

10.72 Having regard to the above, the proposed development will not unduly impact upon the existing ecological value of the site but through measures to be secured by condition, will serve to enhance the value of the site in accordance with policy 7.19 of the London Plan, CP36 of the Core Strategy and policy DMD79 of the Development Management Document.

Trees

10.73 An Arboricultural Impact Assessment has been provided. Trees were categorised in accordance with BS5837:2012 to establish their condition, age and quality. Category A trees are of high quality, contribute to local amenity, and should be retained if possible. Category B trees are of moderate quality with an estimated life expectancy of at least 20 years. Category C trees are considered to be of low quality, with either a limited life expectancy, or very young trees with a stem diameter of not more than 150mm, or very little contribution to local amenity. Category U trees are ones in such a poor condition that they cannot realistically be retained as living trees.

10.73 While the retention of many trees can be accommodated, some conflict is unavoidable. The submitted report identifies that 24 category B and C trees will need to be removed to allow for the proposed development. Given their categorisation this is considered acceptable particularly having regard to the wider benefits of the proposals.

10.74 The report identifies that the impact on retained trees can be minimised through the employment of specialised protection methods and construction techniques to root systems and allow the healthy retention of trees. The use of these specialist methods and compliance with the submitted AIA will be required by condition. In addition to the retention of the majority of the site’s significant trees, new tree planting is proposed as part of the landscape strategy. Full details will be required by condition.

10.75 The submitted tree report recommends that the existing copse in the north western copse undergoes proactive management to improve the quality of the tree stock as well as structural and biodiversity. To this end it is recommended that a plan be prepared to establish the management aims and objectives based on potential use. Consideration should be given to access, use by students, improving tree quality and species diversity and the creation of wildlife habitat. Management operations would include selective thinning, new planting, management of regrowth and undesirable

species and the introduction of wildlife homes such as nest boxes, wood piles, bee and butterfly houses etc. This will be required by condition.

10.76 In light of the above, in the long-term, it is considered that the proposal provides opportunity to enhance the Arboricultural contribution the site makes to the character and appearance of the area, providing that appropriate construction and tree protection methods are adopted and adhered to and replacement planting and proactive management of the retained tree stock is undertaken. The proposal is therefore considered in accordance with DMD 80 and DMD 81 of the Council's Development Management Document.

Energy

10.77 Adopted policies require that new developments achieve the highest sustainable design and construction standards having regard to technical feasibility and economic viability. The submitted sustainability appraisal identifies that the scheme has been estimated to achieve a carbon emission reduction of 36.1% beyond Part L of the 2013 Building Regulations. Photovoltaic panels on the roof are to provide significant energy savings.

10.78 Evidence demonstrating that the proposal meets BREEAM 'very good' will be required by condition.

Drainage

10.79 London Plan policies 5.12 and 5.13 require the consideration of the effects of development on flood risk and sustainable drainage respectively. Core Policy 28 ("Managing flood risk through development") confirms the Council's approach to flood risk, inclusive of the requirement for SuDS in all developments. Policy DMD59 ("Avoiding and reducing flood risk") confirms that new development must avoid and reduce the risk of flooding, and not increase the risks elsewhere and that Planning permission will only be granted for proposals which have addressed all sources of flood risk and would not be subject to, or result in unacceptable levels of flood risk on site or increase the level of flood risk to third parties.

10.80 DMD61 ("Managing surface water") requires the submission of a drainage strategy that incorporates an appropriate SuDS scheme and appropriate greenfield runoff rates.

10.81 A SuDS strategy has been submitted and the SuDS officer has confirmed that the use of infiltration as proposed is appropriate. A condition requiring details of the method of source control is though required (roof gardens or planters could be utilised). Detailed designs, including cross sections and specifications, of the SUDs features can be required by condition.

<u>Employment and Skills</u>

10.823 There is a requirement for an Employment and Skills Strategy in accordance with the provisions of the Enfield Section 106 SPD. The Council is committed to maximising the number and variety of jobs and apprenticeships available to residents of the borough and maintaining and encouraging the widest possible range of economic activity, including the availability of a skilled labour force. To this end, the Council will seek agreement with developers to secure appropriate planning obligations for employment and training initiatives as part of development proposals. The Council is committed to maximising the number and variety of jobs and apprenticeships

available to residents of the borough and maintaining and encouraging the widest possible range of economic activity, including the availability of a skilled labour force.

10.84 In the interest of being positive and pro-active, aiming to avoid any s106 agreement which might delay the development, the Local Planning Authority has agreed that Employment and Skills Strategy in accordance with the provisions of the Enfield Section 106 SPD, could be secured through a planning condition.

11. Community Infrastructure Levy (CIL)

11.1 The proposal would not be liable for either the Mayoral or Enfield CIL.

12.0 Conclusion

12.1 Having regard to the above assessment it is recommended that the proposed development is acceptable against adopted policy and should be approved. The proposal will provide an enlarged and enhanced educational facility for students with SEMH needs. It will respond to the local context in terms of design and will preserve the residential amenities of neighbouring occupiers. The proposals are considered acceptable in terms of their impacts on MOL, biodiversity and trees and make adequate provision for access and parking, sustainable urban drainage and energy saving.

Notes:
1. No dimensions are to be scaled from this drawing

N

Vehicular & Pedestrian Access & Egress

Existing Copse

Playing Field

EXTENT OF METROPOLITAN OPEN LAND

Hardplay

Temporary Classroom Building

Store

Store

Plant Room

Car Parking

Grass

Car Parking

Store

Garage

Caretakers House

Science 47.75sqm

Store

Store

Access WC

Office

WC

St.

St.

Staff Office

Staff Room

Head Teacher

Office

Office

Server

Premises Manager

St.

WC

Kitchen

Medical

Clnr St.

Servery

St.

Office

Corridor

Lobby

ICT Suite

Store

Elec. Cupbd

St.

St.

PE Store

Hall 166.44sqm

Group Room

St.

Office

Food Tech

Office

St.

St.

Classroom 4

Classroom 3

Classroom 1

Classroom 2

Store

Store

Grass

Hardplay

MAIN SCHOOL BUILDING

Corridor

Dance/Music

St.

Classroom 6

St.

DT

Clnr Store

Store

Classroom 5

Office

Office

MODULAR BUILDING

Playing Field

Grass

Pedestrian Existing Gate

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Rev.	Date	Description	Name
A	02.19	Planning application	

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FERN HOUSE SCHOOL
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EXISTING SITE LAYOUT SHOWING FLOOR PLAN OF EXISTING SCHOOL

748	151	A

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GENERAL NOTES:

1. No dimensions are to be scaled from this drawing, all discrepancies should be brought to the attention of the CA.
2. This drawing is to be read in conjunction with the Arboricultural Impact Assessment.

Key:

- RPA for CAT B Trees of moderate condition or value.
- RPA for CAT C Trees of poor condition or low value.
- **RPA for CAT U Trees of such impaired condition that they cannot realistically be retained as living trees.**
- Trees to be removed 13 no. CAT B Trees 11 no. CAT C Tree
- Extent of Metropolitan Open Land
- New 2.4m H Jacksons Euroguard Extra or equivalent anti-climb weldmesh fence & gates /
- New 1.2 / 1.5m H Jacksons Anti-Trap Bow Top Fence and Gates or equivalent
- New 2.5m H Jacksons 12K Envirofence or equivalent accoustic barrier fence
- CCP 3 no. Double Car Charging Points
- CCP Future 3 no. Double Car charging points

Rev.	Date	Description	Name
C	06.19	New vehicular & pedestrian gates amended to open into the school site	
B	05.19	Car charging points / Acoustic barrier fence / additional disabled parking spaces / Additional 2.4m High Jacksons Euroguard fence & gate between South Elevation & Site boundary added.	
A	02.19	Planning application	

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FERN HOUSE SCHOOL
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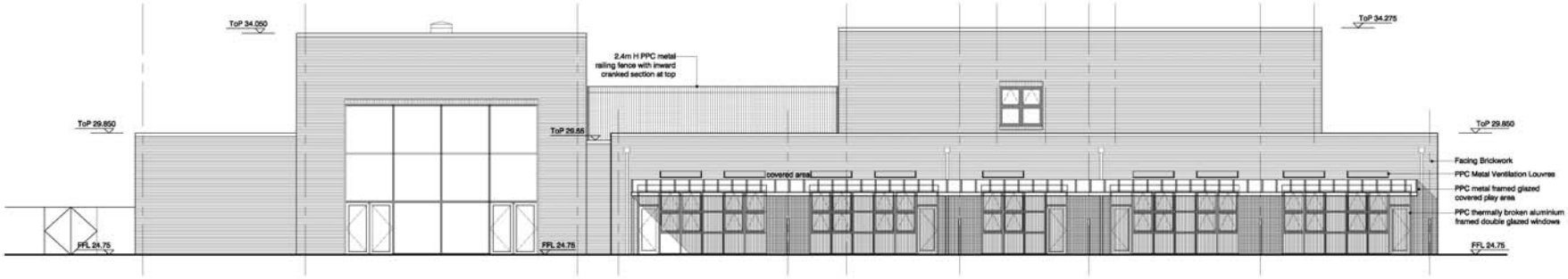
date February 2019	scale @ A0 1:200

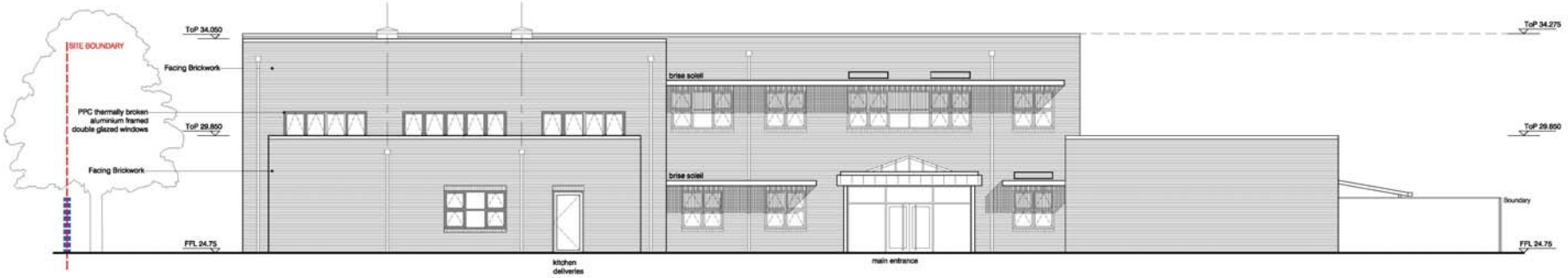
PROPOSED SITE LAYOUT

748	155	B



North Elevation

South Elevation



East Elevation

West Elevation

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Notes:
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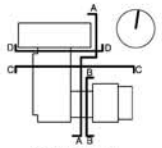
Key:

Site Boundary

New 2.4mH anti- climb weldmesh fence & gates



KEY PLAN

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A	02.19	Planning application	

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FERN HOUSE SCHOOL
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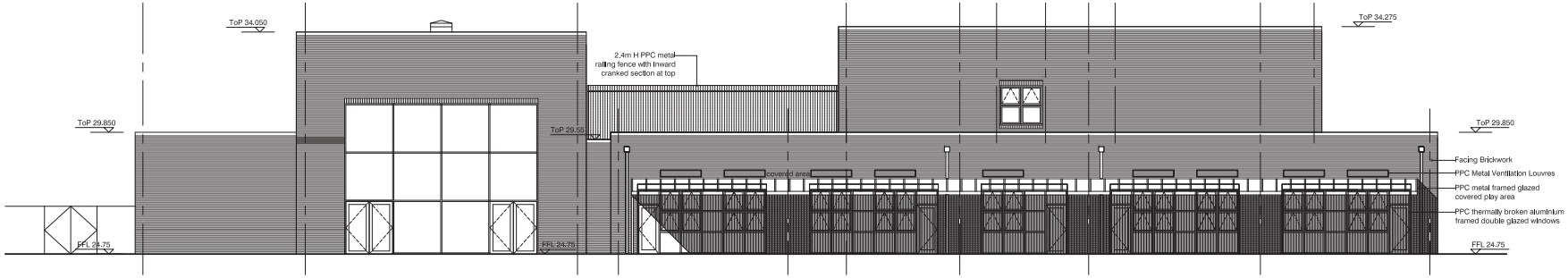
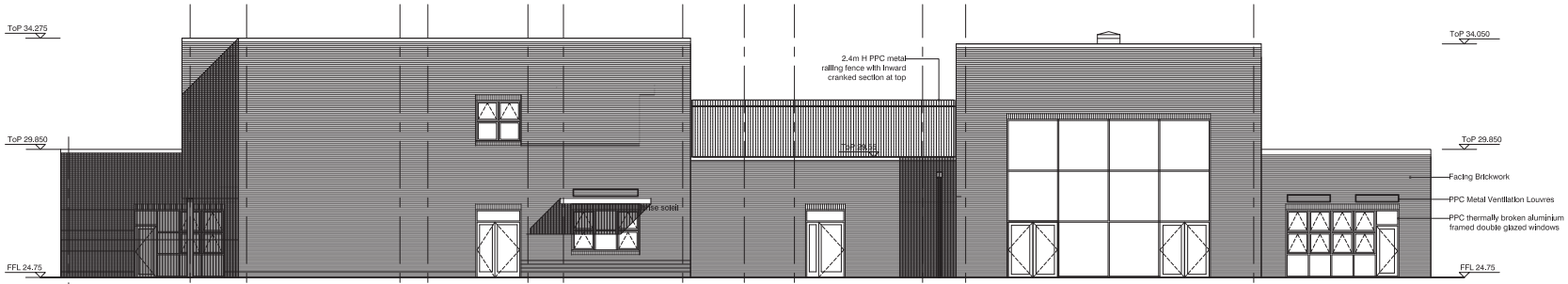
PROPOSED ELEVATIONS

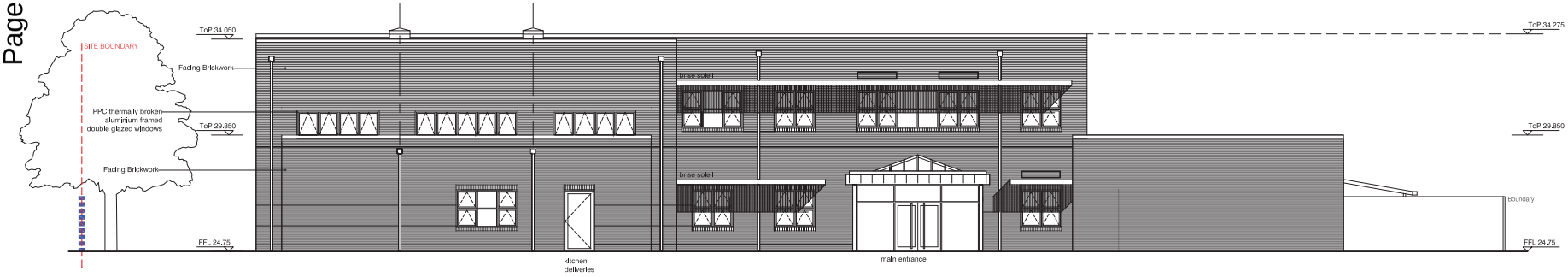
748	156	A



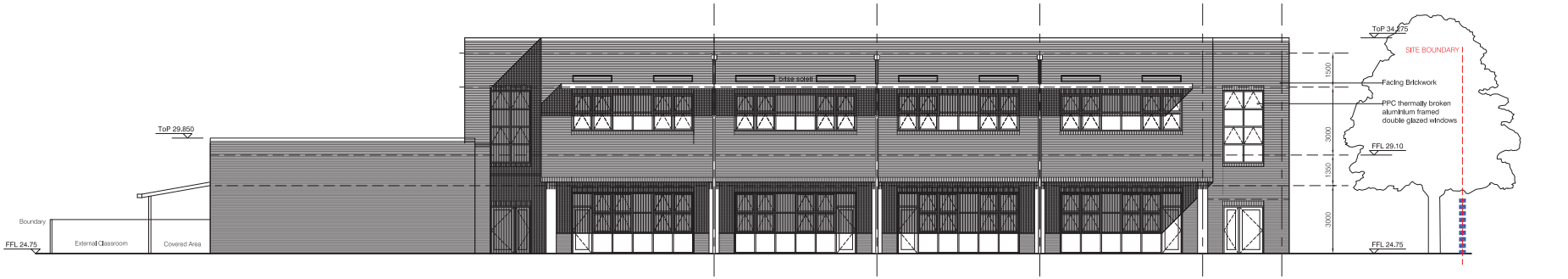
North Elevation



South Elevation



East Elevation



West Elevation

0 1 2 3 4 5 10 20

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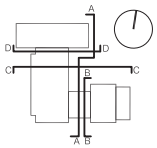
Notes:
1. No dimensions are to be scaled from this drawing

Key:

Site Boundary

New 2.4mH anti- climb weldmesh fence & gates



KEY PLAN

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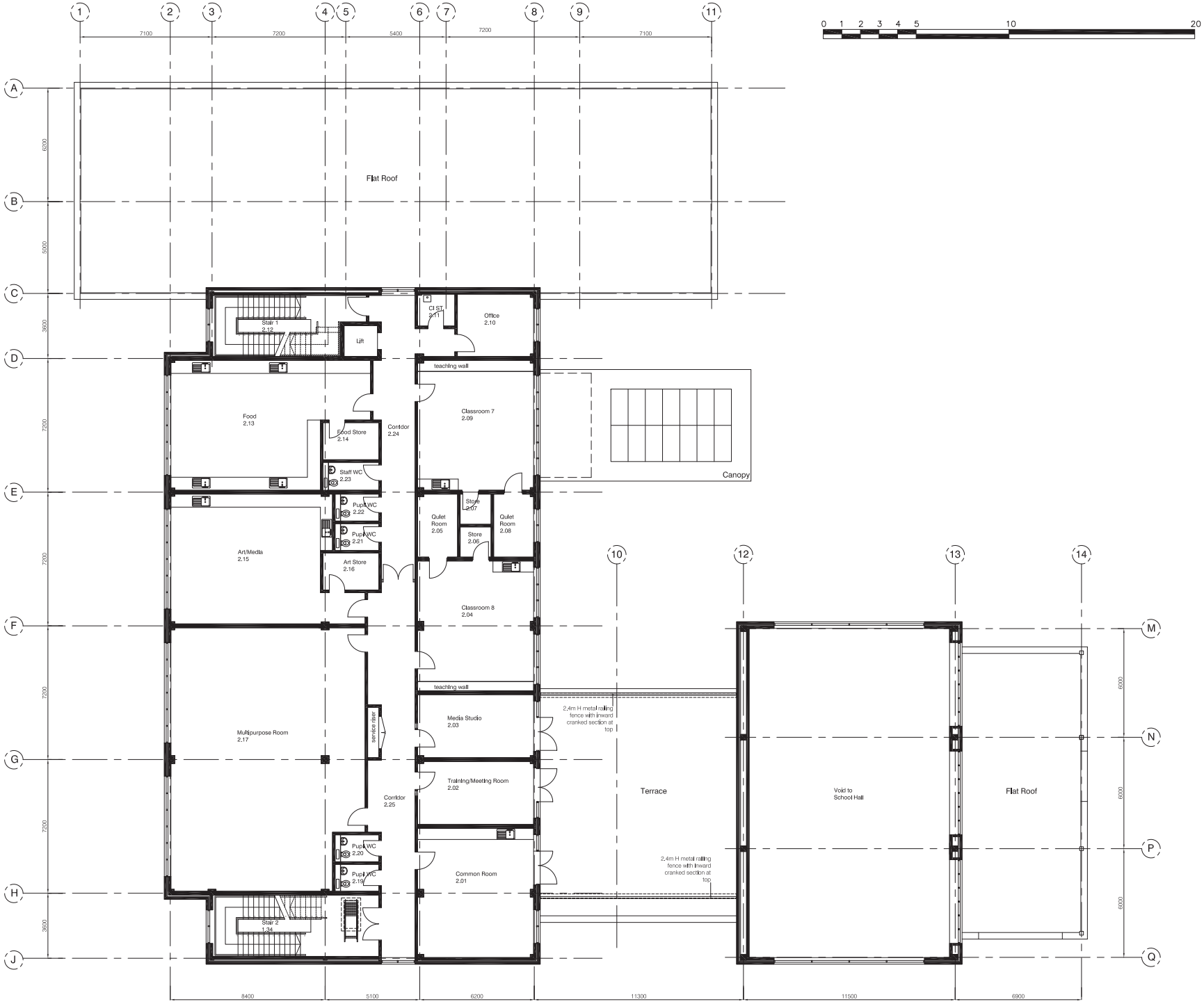
PROPOSED ELEVATIONS

748	156	A



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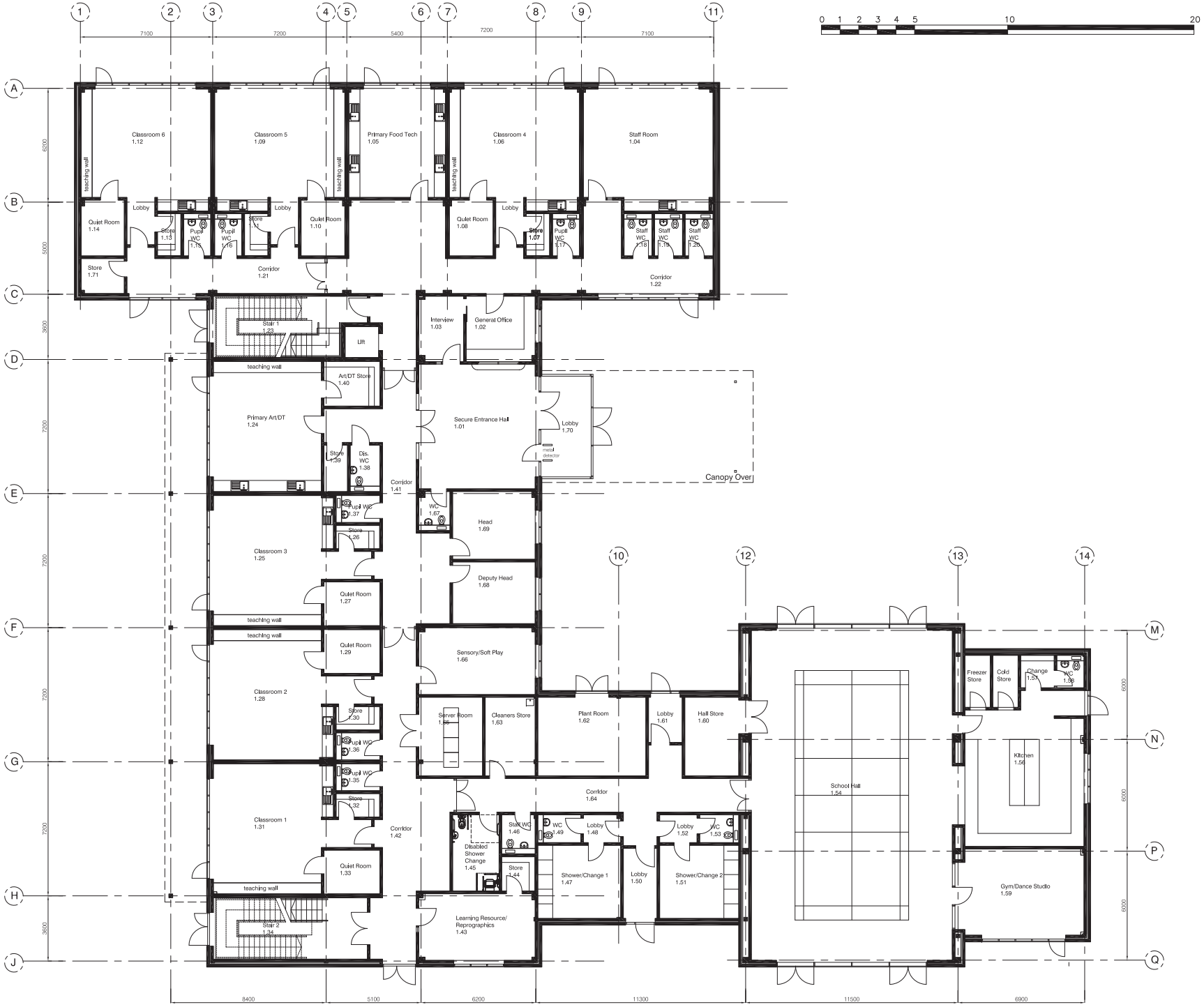
PROPOSED FIRST FLOOR PLAN

748	153	A



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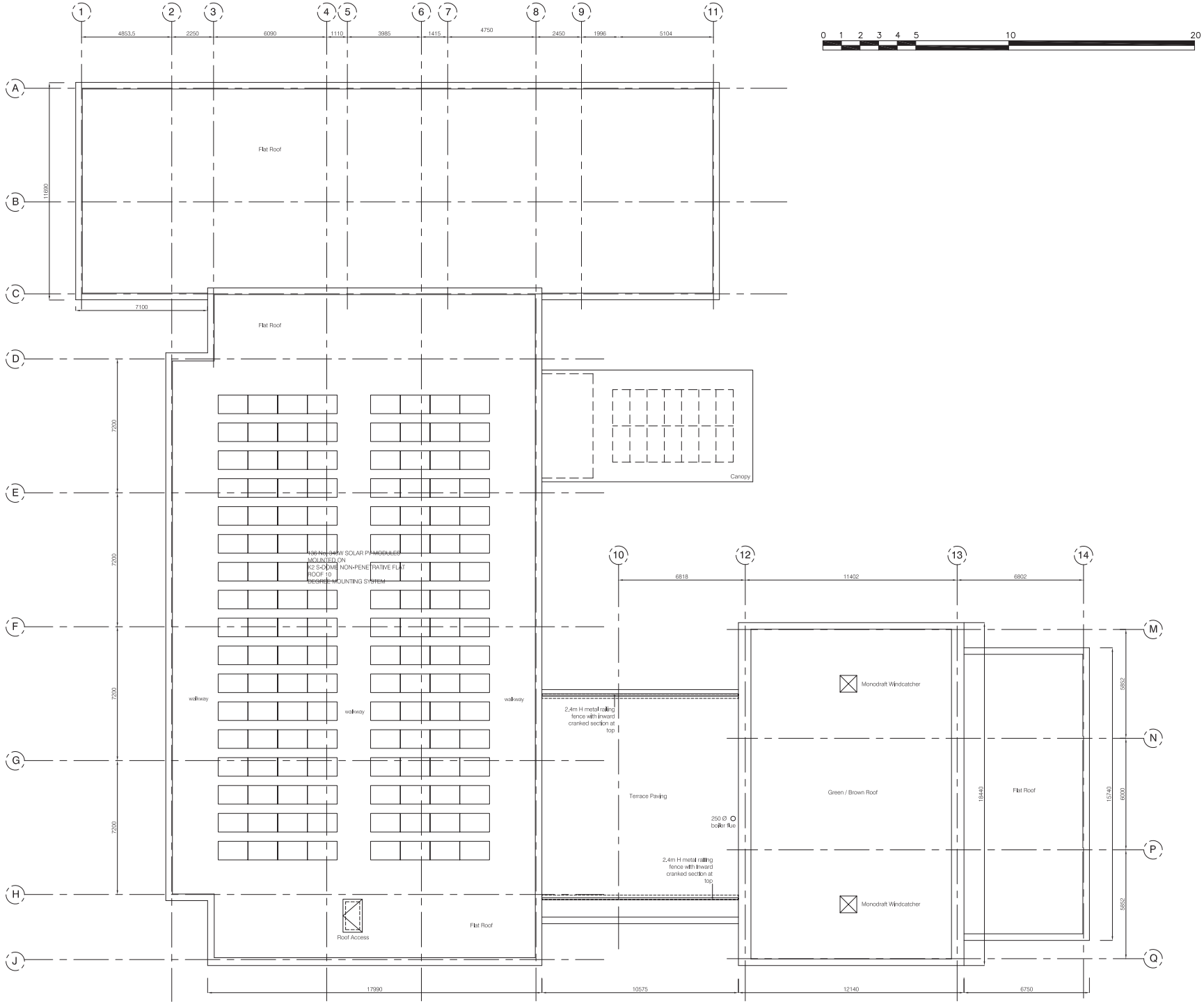
PROPOSED GROUND FLOOR PLAN

748	152	A



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PROPOSED ROOF PLAN

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